



Corcoran Planning Commission Agenda
September 4, 2025
7:00 PM

- 1. Call to Order / Roll Call**
- 2. Pledge of Allegiance**
- 3. Agenda Approval**
- 4. Open Forum – Public Comment Opportunity**
- 5. Minutes**
 - a. Minutes
- 6. New Business**
 - a. M&J Creekside Vineyard Site Plan, Interim Use Permit, and Zoning Ordinance Amendment
- 7. Reports/Information**
 - a. City Council Report - Council Liaison Vehrenkamp
 - b. Planning Project Update
- 8. Commissioner Liaison Calendar**
- 9. Adjournment**

***Includes Materials** - Materials relating to these agenda items can be found in the Council Chambers Agenda Packet book located by the entrance. The complete Council Agenda Packet is available electronically on the City website at www.corcoranmn.gov.

STAFF REPORT**Agenda Item: 5.a**

Council Meeting: September 4, 2025	Prepared By: Seth Gellman. Community Development Administrative Assistant,
Topic: Minutes	Action Required: Approval

Council Action**Attachments**

1. [2025-08-07 Planning Commission Minutes Draft.docx](#)



Corcoran Planning Commission Minutes
August 7th, 2025 - 5:30 pm

The Corcoran Planning Commission met on August 7, 2025, in Corcoran, Minnesota. Four Planning Commissioners were present in the Council Chambers. Members of the public were able to participate in-person and monitor the meeting through electronic means using the audio and video conferencing platform Zoom.

Present: Commissioners Brummond, Lind, Kozicky (not present for Roll Call), and Zachman were present at the start of the meeting.

Absent: Hargreaves

Also present: Planner Klingbeil, Assistant Gellman, and Councilmember Vehrenkamp

1. Call to Order / Roll Call

2. Pledge of Allegiance

3. Agenda Approval

Motion made by Brummond, seconded by Lind, to approve the agenda for the August 8th, 2025, Planning Commission Meeting.

Voting Aye: Brummond, Kozicky, Lind, and Zachman

(Motion passed 4:0).

4. Open Forum – Public Comment Opportunity

(None).

5. Minutes

Motion made by Lind, seconded by Kozicky, to approve the minutes for the July 8th, 2025, Planning Commission Meeting.

Voting Aye: Brummond, Kozicky, Lind, and Zachman

(Motion passed 4:0).

6. Reports/Information

c. City Council Report – Council Liason Vehrenkamp (6. c. moved per Chair Brummond request).

Councilmember Vehrenkamp commended the city on the outcome of the 2025 Night to Unite event. He gave an update on other events coming up in the community and conversations he had with community members. He also gave some general updates on various projects occurring in the city.

Chair Brummond asked about the new Met Council guidance regarding preservation of agriculture, but that land is being purchased in the city for other possible uses. She asked what the city can do in partnership with Hennepin County to preserve agriculture. She said it's difficult for landowners to find preservation information and programs.

Councilmember Vehrenkamp said that the County has prevented some development due to requirements like turn lanes and other required items. He said that the city is doing as much as possible to preserve agriculture and the county does not give much direction or input on agricultural preservation. He suggested reaching out to Hennepin County Commissioner Kevin Anderson.

Commissioner Lind asked if the MUSA would move.

Councilmember Vehrenkamp said that it can move and change rapidly in his experience. He said there was not much capacity for it to grow, however.

Commissioner Kozicky asked when the Comp Plan would begin.

Councilmember Vehrenkamp said in the Fall.

Planner Klingbeil clarified that it would be likely to start next year.

Chair Brummond said that residents mentioned if the neighborhood parties continue to grow that it does not conflict with the Night to Unite event held at the Public Works building.

Councilmember Vehrenkamp said he appreciated the feedback and invited residents to try and attend both the neighborhood party and the city sponsored event.

Commissioner Zachman asked about the status of the Kwik Trip project.

Councilmember Vehrenkamp said it was approved by the city but not going forward due to some of the conditions the city included in approval.

a. Other Business – Planning Commission Training – Granicus

i. Staff Presentation

b. Planning Project Update – Planner Klingbeil was available for questions.

7. Commissioner Liaison Calendar

Suggested City Council Meetings

07/10/2025	07/24/2025	08/14/2025	08/28/2025	09/11/2025	09/25/2025
Brummond	Hargreaves	Kozicky	Lind	Zachman	Brummond

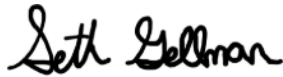
8. Adjournment

Motion made by Lind, seconded by Zachman, to adjourn the August 7, 2025, Planning Commission meeting.

Voting Aye: Brummond, Kozicky, Lind, and Zachman

(Motion passed 4:0).

The meeting adjourned at 6:38 PM



Submitted by Seth Gellman, Community Development Administrative Assistant

Council Meeting: September 4, 2025	Prepared By: Dwight Klingbeil, Planner
Topic: M&J Creekside Vineyard Site Plan, Interim Use Permit, and Zoning Ordinance Amendment	Action Required:

Summary

Margaret and John Fernandez, the applicants, request approval of an Interim Use Permit and Site Plan to allow the operation of a Wine Processing / Wine Tasting agribusiness on their property at 23020 County Road 30, as well as an amendment to the Zoning Ordinance, to grant flexibility from the footprint limit for accessory structures used in conjunction with Agribusiness operations.

Recommendation

Staff recommend approval of the draft resolution, approving the site plan and interim use permit with the conditions of approval as presented by staff.

Council Action

Recommendation

Attachments

1. [Staff Report - M&J Creekside Agribusiness.pdf](#)
2. [Draft Resolution 2025- Approving the Site Plan and Interim Use Permit for M&J Creekside Vineyard](#)
3. [Draft Ordinance 2025- Amending Section 1040.030 Subd. 5\(](#)
4. [Draft Resolution 2025- Approving the findings of fact for the Ordinance Amendment to Section 1040.030 Subd. 5\(D\).](#)
5. [Zoning Ordinance Amendment Narrative.pdf](#)
6. [Engineer Memo dated August 19, 2025](#)
7. [Site Plan received July 15, 2025](#)
8. [Landscape Plan received August 24, 2025](#)
9. [Floor Plan received July 16, 2025](#)
10. [Public Comment - Kevin & Karen Dale](#)
11. [Site_Plan___IUP_Narrative.pdf](#)
12. [2025-08-04_Elevations_w_Measurements_-_M_J_Creekside.pdf](#)

STAFF REPORT

Planning Commission Meeting: September 2, 2025	Prepared By: Dwight Klingbeil
Topic: M&J Creekside Wine Tasting Room Interim Use Permit & Site Plan (PID 08-119-23-23-0017) (City File No. 25-026)	Action Required: Recommendation

1. Application Request

Margaret and John Fernandez, the applicants, request approval of an Interim Use Permit and Site Plan to allow the operation of a Wine Processing / Wine Tasting agribusiness on their property at 23020 County Road 30, as well as an amendment to the Zoning Ordinance, to grant flexibility from the footprint limit for accessory structures used in conjunction with Agribusiness operations.

2. Background

Concept Plan

The Council reviewed a conceptual version of this application during the September 26, 2024, City Council meeting. This concept plan was reviewed against the Conditional Home Occupation License standards, as well as the Event Center standards. This review revealed that the proposed use did not quite fit within any of the allowed uses within the zoning district, and multiple variances and conditions would be required to allow the wine tasting room to operate on their property.

Zoning Ordinance Amendment

Following staff and Council review, it was recommended that the applicants request an amendment to the Zoning Ordinance to establish Agribusinesses as an allowed use in the Rural Residential district. The public hearing for this request was held during the June 5, 2025, Planning Commission meeting, and reviewed and adopted by the City Council during the June 23, 2025, meeting.

3. Context

Zoning and Land Use

The subject property is 5.84 acres in size. It is guided Rural/Ag Residential and zoned Rural Residential (RR). With its proximity to Rush Creek, significant portions of the parcel are located within the Shoreland Overlay District, which has additional requirements beyond the RR District standards. The parcel is currently used as a residence with vineyards for wine making. The site is located outside of the Metropolitan Urban Service Area (MUSA).

Surrounding Properties

All surrounding properties are all located outside of the MUSA. All surrounding properties are guided for Rural/Ag Residential and zoned Rural Residential (RR). The properties to the north and east are used for residential purposes, the property to the south is used for Agricultural Residential, and the property to the west is a heavily wooded vacant lot owned by the applicant.

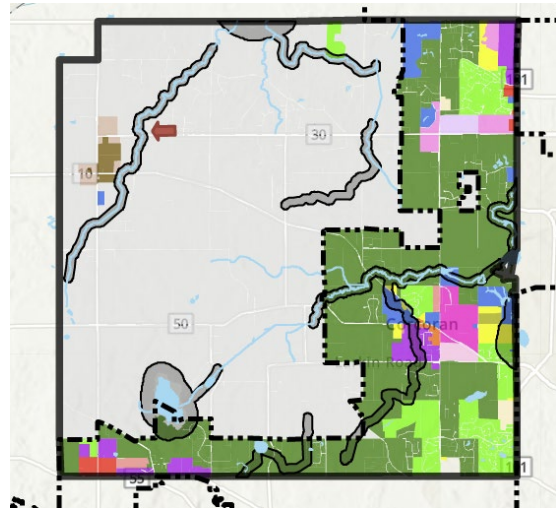


Figure 1 Site Location

Natural Characteristics of the Site

The applicants' parcel to the immediate west is bifurcated by Rush Creek. This has resulted in significant portions of the subject parcel being subject to the Shoreland Overlay District requirements. The Natural Resource Inventory map in the 2040 Comprehensive Plan

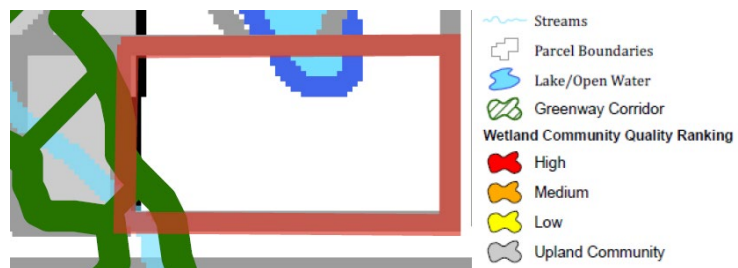


Figure 2 Natural Resource Inventory Map

identifies a High-Quality Natural Community in the western parcel, as well as a greenway corridor along Rush Creek, which extends into the southwest corner of the subject parcel. In addition, substantial portions of the site are located within the floodplain. Most of the western parcel, along with the northwestern areas of the eastern parcel, are covered by a mature tree canopy.

4. Analysis

Planning staff coordinated review of the request for consistency with the Comprehensive Plan, Zoning Ordinance, City Code requirements, and City policies. Public Safety and the City Engineer's comments are incorporated into this staff report, their detailed comments are included in the attached memos, and the approval conditions require compliance with the memo.

A. Level of City Discretion in Decision-Making

The City's discretion in approving a site plan and IUP is limited to whether the plan meets the standards outlined in the Zoning Ordinance. If it meets these standards, the City must approve the application.

B. Consistency with Ordinance Standards

The applicant requests approval of a Site Plan & Interim Use Permit to allow an Agribusiness at 23020 County Road 30. The applicant's narrative states that the business would operate on a seasonal basis, with typical hours of operation being 12pm-9pm Thursday through Saturday, and 12pm-6pm on Sunday. These hours may vary depending on the activities being held, however, they do not expect the operation to remain open past 10pm.

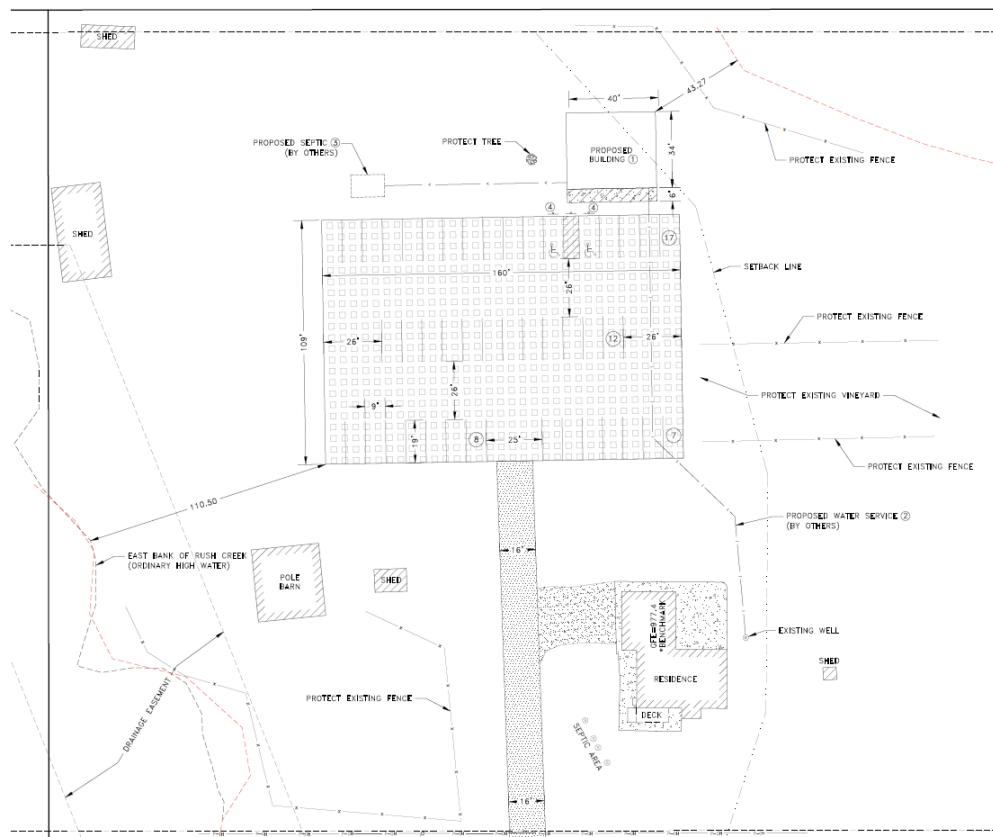


Figure 3 Site Plan

Site Plan

The site currently consists of 5 accessory structures. The applicants request to demolish one of the structures in the center of the property in favor of a new structure for the Agribusiness operation. Additionally, the applicant also plans to install a 44-stall grass parking lot to the northwest of the principal structure of the lot.

Building Size

The applicant plans to demolish an existing 726 square foot structure in favor of a 1,440 square-foot structure with a 140 square-foot porch. This would result in a cumulative accessory structure footprint of ~3,980 square feet on a parcel that allows an accessory structure footprint of 2,719 square feet. This request does not meet the ordinance requirements, and an additional 1,210 square feet of accessory structure space must be removed.

It is worth noting that the applicants also own the 1.92-acre parcel to the west. If the applicants chose to combine their two parcels, the allowed accessory structure footprint would increase to 3,313 square feet. This still would not meet the footprint allowance in Code but would reduce the non-conformity.

The applicants have requested approval of a Zoning Ordinance Amendment to allow additional flexibility to the accessory structure footprint allowance for Agribusiness operations.

Building Height

The proposed building would be constructed in the backyard of the property. Code allows for an accessory structure sidewall height of up to 13'6" in the rear yard, and a maximum height of 25'. The applicants propose a sidewall height of 10' and a building height of 20'. This complies with the ordinance standards.

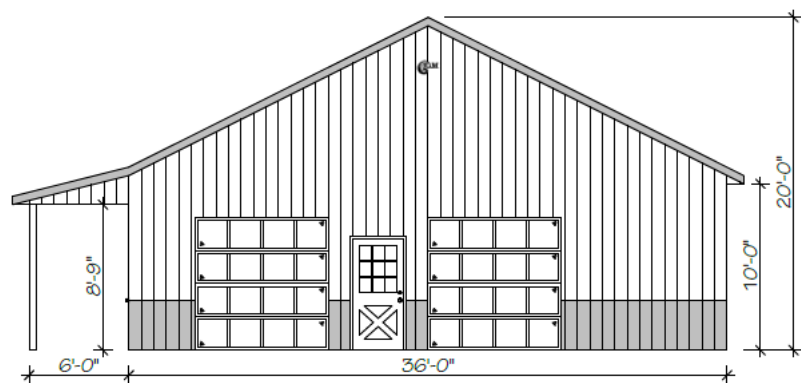


Figure 4 Proposed structure elevation

Building Materials

The exterior walls and roof of the proposed building would be finished with 29-guage RAM Rib galvanized Grade 80 colored steel. Section 1060.050 Subd. 1.D.3. allows accessory buildings to be constructed with metal siding and/or roofing through a Certificate of Compliance, provided they meet the standards of the Minnesota State Building Code and have been treated with a factory applied color coating system against any fading or degradation. The proposed materials comply with these requirements and are allowable.

Shoreland Overlay District

The Shoreland Overlay District requires all structures, including accessory structures, to be constructed so that the first-floor elevation is at least 2 feet above the regional flood elevation. The proposed floor elevation for the building is at 976.5'. The FEMA 100-year floodplain (Zone AE) is mapped on the property at elevations ranging from 975' to 973'.

To comply with the elevation requirements of the Shoreland Overlay District, the minimum first floor elevation must be at least 975', which is 2 feet above the regional flood elevation. The proposed floor elevation complies with this requirement.

Parking

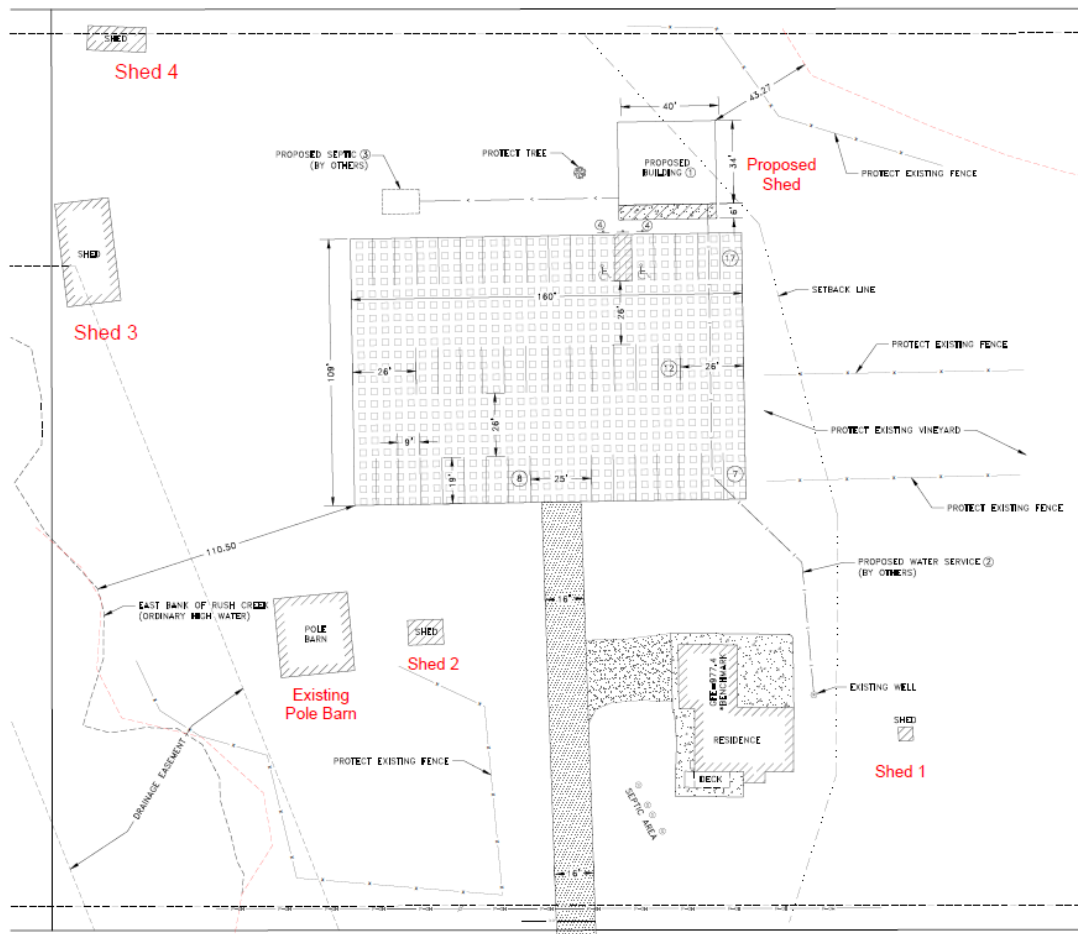
While the number of parking stalls required will vary depending on the activity, the site must demonstrate the ability to accommodate its most intensive use to avoid reliance on on-street parking. This is likely to be event hosting. The IUP standards for event centers in the RR district require 1 parking stall per 2 guests. The proposed Site Plan shows 40 parking stalls. Using this parking formula, a condition of approval should limit event attendance to no more than 80 guests.

Every parking stall within the proposed Site Plan is angled at 90°. Code requires a minimum stall width of 9', stall depth of 18'6", and a drive aisle width of 26'. The proposed parking stalls meet these dimensional requirements.

However, the width of the driveway connecting the parking lot to County Road 30 is only 16'. A condition of approval should require the driveway to be widened to a minimum of 24' to accommodate two-way traffic coming in and out of the parking lot.

Setbacks

The proposed site plan consists of 6 accessory structures. All accessory structures are required to maintain a minimum setback of 100 feet from the front property line, 20 feet from the side property line, 15 feet from the rear property line. Additionally, the Shoreland Overlay District requires Unsewered Structures to be setback at least 100 feet from Tributary Rivers/Streams. The current and proposed setbacks are outlined in the table below:



	Front	Side	Rear	Tributary River/Stream	Status
Required Setback	100 feet	20 feet	15 feet	100 feet	
Proposed Building	297.25 feet	231 feet	46.33 feet	256 feet	Compliant
Shed 1	77.18 feet	270 feet	293.71 feet	273.39 feet	Non-Compliant
Shed 2	116.5 feet	144 feet	249.58 feet	93.5 feet	Legal Nonconformity
Existing Pole Barn	103.3 feet	88feet	239.33 feet	42.58 feet	Non-Compliant
Shed 3	255.1 feet	2 feet	76.98 feet	22.58 feet	Legal Nonconformity
Shed 4	359.65 feet	14 feet	6.58 feet	122.75 feet	Non-Compliant

Table 1 Accessory structure setback comparison

The proposed structure, which would house the wine tasting room and processing bar complies with all applicable setback requirements of the Zoning Ordinance.

Sheds 2 and 3 are both located within the minimum setback from Rush Creek. However, these structures predate the establishment of the current setback requirements and are considered legal non-conforming structures.

Shed 1 encroaches into the minimum front yard setback. Staff reviewed historical aerial imagery and determined that Shed 1 was constructed between 2015 and 2021. While

City Code does not require a building permit for accessory structures under 200 square feet, such structures are required to meet all setback requirements of the zoning ordinance. Shed 1 does not meet these requirements and must either be relocated into compliance or removed from the property.

Shed 4 is located within the minimum rear yard setback. Historic Aerial imagery indicates that the shed was constructed between the years of 2018 and 2020. A building permit would have been required for an accessory structure of this size; however, there is no record of a building permit issued for this shed. A condition of approval shall require Shed 4 to either be relocated with the issuance of an after-the-fact building permit or be removed from the property.

The existing pole barn is located within the minimum setback from Rush Creek. While a building permit was issued, the building was not constructed in the approved location and is not legally protected as a legal non-conforming structure. A condition of approval shall require this building to either be relocated into compliance, removed from the property, or obtain an after-the-fact variance.

Parking Areas are required to meet the following minimum setback requirements:

- Front (major roadway): 100 feet
- Side and Rear: 10 feet.
- Ordinary High-Water Level: 100 feet

The proposed parking lot is located 173 feet from the front property line, 122 feet from the nearest side property line, 93.5 feet from the rear property line, and 118.75-feet from the Ordinary High-Water Level of Rush Creek.

Access

Current access to the property originates from a private driveway directly on County Road 30. The proposed Site Plan would widen the existing driveway to 16' and extend the driveway north to serve the existing residence and the proposed use. City Staff and County Staff have reviewed this proposal and are concerned with the ability to support two-way traffic on the proposed driveway. A condition of approval shall require the driveway to be widened to a minimum width of 24', as previously noted in this report.

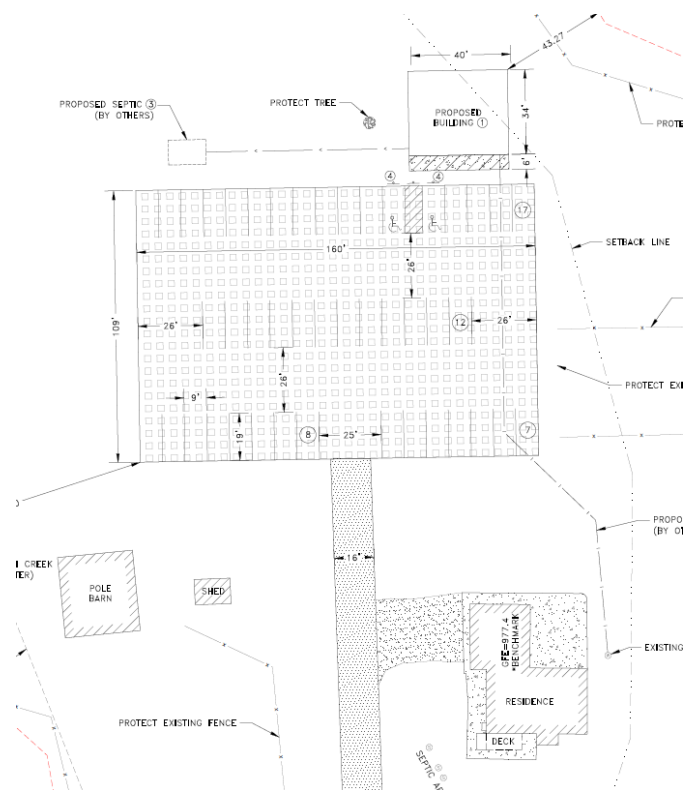


Figure 5 Proposed parking lot and site access

Lighting

Outdoor lighting for Agribusiness uses cannot exceed a glare of 0.1-foot candle as measured from the property line and must comply with the lighting standards outlined in Section 1060.040 Subd. 1 of the Zoning Ordinance. The proposed Site Plan does not indicate the use of outdoor lighting. A condition of approval should require the applicants to submit a lighting plan to the City indicating the location and type of lighting fixtures used around the property to ensure compliance with this requirement.

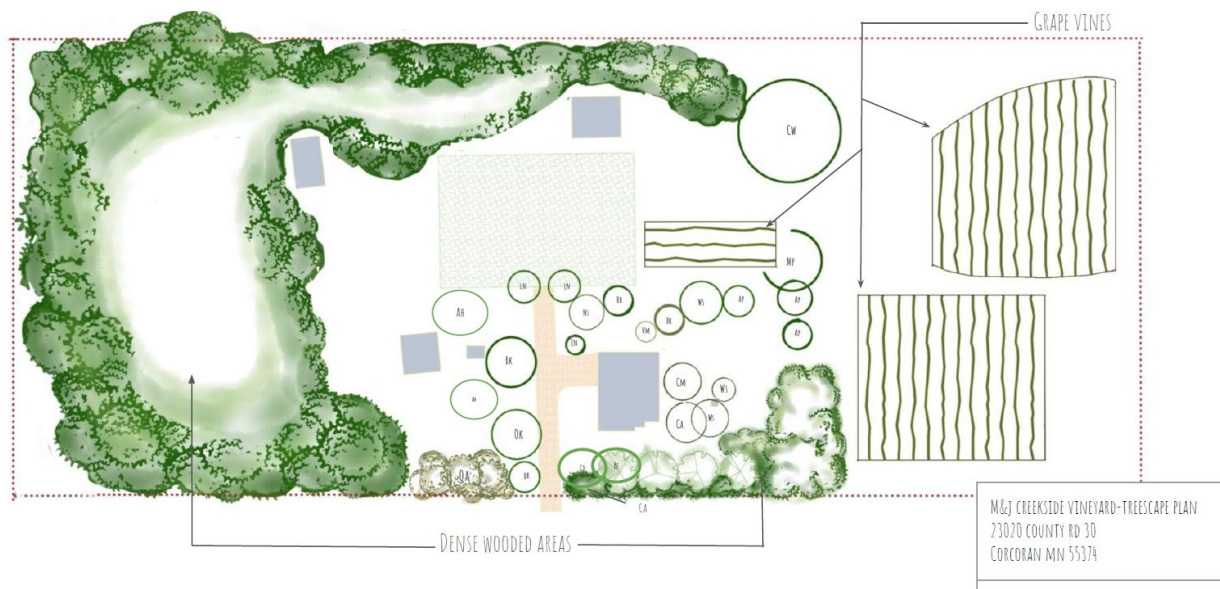


Figure 6 Treescape Plan

Landscaping

The site is subject to the landscape standards of Section 1060.070, which require:

- One overstory tree per 1,000 sq. ft. of gross building floor area or one tree per 50 lineal feet of site perimeter.
- One understory shrub for each 300 sq. ft. of building or one tree per 30 lineal feet of site perimeter, whichever is greater.

Historically, City practice has been to calculate the required trees and shrubs based on building addition and screening requirements for parking areas. Using the new 1,440 square foot building in this calculation, the applicant would be required to provide landscaping with 1 overstory tree and 4 understory shrubs.

The applicants request that the City accept the existing vegetation to satisfy the landscaping requirements. To support their request, the applicant submitted a Treescape Plan, which illustrates the existing tree coverage of the property. This plan identifies a dense wooded area over the western third of the parcel, a tree line of mixed

species along County Road 30, a cluster of cottonwood trees northwest of the proposed structure, and scattered trees of various species throughout the rest of the property.

Additionally, the proposed parking lot is subject to the landscaping requirements of Section 1060.070 Subd.2.J.2.:

- Parking areas with 4 or more stalls shall be screened from properties guided or zoned residential and from public streets. Screening to a height of at least 3 feet shall be provided to screen vehicle headlights.

The applicants request that City accept the existing vegetation for this requirement as well. The treescape plan identifies dense wooded areas to the north, west, and southeast of the parking lot, with partially wooded areas south and east of the parking lot. Staff recommends that a condition of approval require the installation of additional screening south and east of the parking lot to ensure adequate screening of vehicle headlights from public streets and neighboring residential properties.

Signage

Signs are not allowed in the Rural Residential zoning district. The applicant has not proposed any signage for this project.

Grading and Drainage

The FEMA 100-year floodplain (Zone AE) is mapped on the property at elevations ranging from 975 to 973. The applicant's site plan shows this floodplain, but the floodway should also be located by the applicant. There appears to be grading planned within the floodway near the entrance driveway and northwest of the existing pole barn. It is recommended that the grading be located out of the floodway extents to remove the need for a Conditional Letter of Map Revision (CLOMR). Full details are provided in the Engineer Memo attached to this report.

Stormwater

The applicant is creating new impervious surfaces through a new parking lot and additions to the existing building. The current plan appears to disturb less than 1 acre of land and would not necessitate stormwater improvements. If the disturbance area is modified and exceeds 1 acre of land, the applicant will be required to submit a stormwater management plan in accordance with city standards at the time of a formal application.

Refuse

Section 1060.020 requires all exterior storage of trash/garbage to be in an accessory building enclosed by walls and roof or in closed containers within a totally screened area. The applicant's site plan does not identify an area for exterior storage of trash, and a condition of approval should require compliance with this standard should the applicant store trash outside.

Interim Use Permit

The applicant is requesting approval of an Interim Use Permit (IUP) to operate an Agribusiness at 23020 County Road 30. Pursuant to Section 1040.030 Subd. 5.D., Agribusiness is permitted as an Interim Use of the Rural Residential (RR) zoning district, subject to compliance with the following requirements:

1. *Must be located on a parcel that is at least four (4) acres in size.*

In its current condition, the subject parcel is 5.84-acres in size and could be enlarged to 7.76-acres if combined with the parcel to the west. This requirement is satisfied in both scenarios.

2. *Site Access. The primary site access shall comply with one of the following:*
 - a. *The site shall have direct access onto a Major Roadway, which is defined as a Principal Arterial, Minor Reliever, Minor Expander, and Minor Connector roadways; or*
 - b. *The site will have direct access onto a Major Collector or Minor Collector roadway no more than 2,500 feet from an intersection with a Major Roadway as identified in the Comprehensive Plan.*

The site has direct access onto County Road 30, which is classified as a Major Roadway. The proposed site access satisfies this requirement.

3. *Traffic shall not create a nuisance to nearby residents by way of traffic or noise, nor shall it increase the public cost in maintaining the street.*

Traffic for the proposed use would come from County Road 30 directly and is not likely to increase traffic on streets in the surrounding residential neighborhoods. Staff does not have reason to believe that the proposed use would increase the public cost in maintaining County Road 30 or other public streets.

4. *Parking. Parking must be accommodated through on-site parking lots which comply with the necessary requirements outlined in Section 1060.060 of the Zoning Ordinance.*
 - a. *Gravel parking lots for Agribusinesses in the Rural Residential (RR) district may be allowed through an*

Interim Use Permit subject to the standards outlined in Section 1060.060 Subd. 3.B.

The applicants propose a 44-stall parking lot to accommodate the parking needs of the operation. This lot would be constructed of a grass filled geogrid. This material is not an approved parking surface under City Code and does not meet the parking lot standards applicable to the Agribusiness use.

A condition of approval shall require a revision to the site plan to provide a compliant parking lot surface that is either a defined gravel parking area or a hard surface with perimeter concrete curbing.

5. Maximum Structure Size. Agribusiness operating within an accessory structure must comply with the maximum accessory footprint allowed per Section 1030.020 Subd. 4.E.

Current conditions allow for a cumulative accessory structure footprint of 2,719 square feet. If the applicant's two parcels were to be combined, the maximum allowed accessory structure footprint would increase to 3,313 square feet. The proposed agribusiness consists of a cumulative accessory structure footprint of ~3,980 square feet. This proposal does not meet this requirement.

The applicants have requested an amendment to the Agribusiness Ordinance to grant additional flexibility for accessory structures related to agribusiness uses. This is discussed further in the Zoning Ordinance Amendment portion of this report. If Council denies the amendment request, a condition of approval shall require the removal of accessory structures on the property to ensure compliance with the cumulative accessory structure footprint limit outlined in the Zoning Ordinance.

6. Noise.

a. No sound amplifications systems may be used outdoors after 10:00 p.m. unless otherwise approved by City Council.

The applicant's narrative states that the proposed hours of operation would be 12pm-9pm Thursdays through Saturdays, and 12pm-6pm on Sundays. Though the applicants explain that these hours may vary depending on the activity of the day. A condition

of approval shall include a requirement any sound amplification system cease use by 10pm unless otherwise approved by City Council.

- b. Stages and sound amplification equipment shall not be oriented toward any residence within 500 feet of the property line upon which the outdoor music event is to be held. Further, sound amplification equipment shall be oriented so sound is directed away from the closest residential property.*

The applicant's Site Plan does not include the use of stages or sound amplification equipment. If the business operation expands in the future to include the use of stages or sound amplification equipment, a condition of approval should be added to address this condition.

- c. All music events require council approval of a sound waiver permit prior to each event unless otherwise approved.*

This requirement is not applicable to the proposed Wine Tasting room, as the nature of this operation does not include music events. In the event that the business hosts a music event, the business must first obtain a sound waiver from the City Council.

- 7. Outdoor lighting shall not exceed 0.1-foot candle as measured from the property line and must comply with Section 1060.040 Subd. 1 of the City Code.*

The applicant's Site Plan does not indicate the use of outdoor lighting. If there is outdoor lighting used as part of this operation, the applicant must provide a lighting plan which demonstrates compliance with this standard.

- 8. Sanitary facilities adequate for the number of attendees shall be provided as determined by the adopted Minnesota State Building Code, as may be amended from time to time. Portable toilets may be approved for temporary use and must be screened from view from roads and*

neighboring properties by landscaping or a wooden enclosure. No portable toilets shall be located closer than 400 feet from a neighboring residential structure.

The applicant's floor plan shows a bathroom within the structure where the Wine Tasting Room is located. The Site Plan does not indicate the use of portable bathrooms, nor is such use mentioned within the applicant's narrative.

To ensure consistency, a condition of approval should reiterate that any future use of portable restrooms must be screened from view and located at least 400 feet from neighboring residential structures.

9. *Any outdoor activity area (e.g., seating, walking, crafting, etc.) shall be setback at least 100 ft from adjacent residential structures.*

The proposed Site Plan did not identify any designated outdoor activity areas for seating, walking, crafting, or other similar uses. If outdoor activities are to be offered by the business, the applicant must revise their Site Plan to clearly indicate the location of these activities to demonstrate compliance with this requirement.

In addition to the requirements specific to Agribusiness uses, all Interim Uses are required to comply with the Interim Use Permit standards outlined in Section 1070.030 Subd. 3. Specifically:

- A. *A. Meet the requirements of a conditional use permit set forth in Section 1070.020, Subd. 3.*
 - a. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*
 - b. *The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals or comfort.*
 - c. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*
 - d. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*
 - e. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*
 - f. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The Agribusiness does not conflict with the Comprehensive Plan as the property is guided for Rural Residential and Agricultural uses. Staff has no

reason to believe that the Agribusiness use would be detrimental to or endanger the public health, safety, morals or comfort of properties in the immediate vicinity for the purposes already permitted, nor would the use substantially diminish or impair the property values within the neighborhood. The Agribusiness would not impede the normal and orderly development of surrounding properties and improvement of surrounding property for uses permitted in the RR district. The Agribusiness does not conflict with other RR district regulations. Finally, the Agribusiness will conform to all other performance standards with the proposed conditions of approval outlined throughout this report.

B. The use is allowed as an interim use in the respective zoning district.

Agribusinesses are allowed as an interim use within the RR district as identified in Section 1040.030 Subd. 5.D.

C. The date or event that will terminate the use can be identified with certainty.

A condition of approval should require the interim use permit to expire immediately after the existing business on site ceases operations, or once the property is sold to another party.

D. The use will not impose additional unreasonable costs to the public.

Staff has no reason to believe that the requested use will add an unreasonable cost to the public. A condition of approval included in the draft resolution clarifies that all parking must occur on site.

E. The user agrees to any conditions that the City Council deems appropriate for the permission of the use.

The Council may add additional conditions of approval for the use which may be included in the approving resolution.

Zoning Ordinance Amendment

The applicants have also requested approval of an amendment to the Zoning Ordinance, to grant flexibility from the accessory structure footprint limitations for Agribusiness uses in the RR district.

Currently, Section 1040.030 Subd. 5.B.5. states that “Agribusinesses operating within an accessory structure must comply with the maximum accessory structure footprint allowed per Section 1030.020 Subd. 4.E.” This standard was included when the

Agribusiness was originally adopted to ensure consistency with other provisions of Code.

It's worth noting, however, that properties 10 acres or more may exceed the maximum accessory structure footprint through approval of a Conditional Use Permit, while properties under 10 acres are strictly limited to the maximum footprint identified in Table 1 below. As a result, this standard may impose a greater restriction on smaller parcel than on larger parcels.

Acres	0	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9
<1	1,250 or 25 percent of the area of the rear yard, whichever is less.									
1	1,250	1,275	1,300	1,325	1,350	1,375	1,400	1,425	1,450	1,475
2	1,500	1,531	1,563	1,594	1,625	1,656	1,688	1,719	1,750	1,781
3	1,813	1,844	1,875	1,906	1,938	1,969	2,000	2,031	2,063	2,094
4	2,125	2,156	2,188	2,219	2,250	2,281	2,313	2,344	2,375	2,406
5	2,438	2,469	2,500	2,531	2,563	2,594	2,625	2,656	2,688	2,719
6	2,750	2,781	2,813	2,844	2,875	2,906	2,938	2,969	3,000	3,031
7	3,063	3,094	3,125	3,156	3,188	3,219	3,250	3,281	3,313	3,344
8	3,375	3,406	3,438	3,469	3,500	3,531	3,563	3,594	3,625	3,656
9	3,688	3,719	3,750	3,781	3,813	3,844	3,875	3,906	3,938	3,969
10+	3,969	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP

Table 2 Allowed accessory structure footprint by acreage

In this case, the applicants' parcel is limited to an accessory structure footprint of 2,719 square feet, or 3,313 square feet if they combined both of their parcels. However, the applicant's narrative explains that the proposed accessory structure footprint is necessary to effectively operate the agribusiness. The applicant's narrative states that the proposed accessory structure is large enough to accommodate the bar processing room and the patrons visiting the property, while the existing structures are needed to store their farming equipment and supplies for the tasting room.

To address the applicants' request, while also ensuring that smaller parcels do not retain an excessive amount of accessory building area in the future, staff is proposing the following amendment to the Agribusiness Interim Use standards:

5. *Maximum Structure Size. Agribusiness operating within an accessory structure must comply with the maximum accessory footprint allowed per Section 1030.020 Subd. 4.E, unless:*
 - a. City Council may grant flexibility as part of the Interim Use Permit to exceed the maximum allowed accessory structure footprint for properties that are between four (4) and less than ten (10) acres in size, provided the Council finds that additional accessory space is reasonably necessary for the agribusiness to operate effectively.

Summary

Staff has reviewed the plans for an Agribusiness Use consisting of a Wine Tasting/Processing business with the applicable standards outlined in the Comprehensive Plan and Zoning Ordinance and found that the applicable standards have been met with the proposed conditions of approval.

However, if the Planning Commission finds that the Interim Use Permit standards have not been met, they should consider what conditions could be added to meet these standards or recommend denial.

6. Recommendation

Staff recommend approval of the draft resolution, approving the site plan and interim use permit with the conditions of approval as presented by staff.

Attachments:

1. Draft Resolution 2025- Approving the Site Plan and Interim Use Permit for M&J Creekside Vineyard
2. Draft Ordinance 2025- Amending Section 1040.030 Subd. 5(D).
3. Draft Resolution 2025- Approving the findings of fact for the Ordinance Amendment to Section 1040.030 Subd. 5(D).
4. Applicant's Site Plan & IUP Narrative received July 15, 2025
5. Applicant's Zoning Ordinance Amendment received August 18, 2025
6. Engineer Memo dated August 19, 2025
7. Site Plan received July 15, 2025
8. Landscape Plan received August 24, 2025
9. Floor Plan received July 16, 2025
10. Building Elevations received August 4, 2025
11. Public Comment - Kevin & Karen Dale

RESOLUTION NO. 2025-

Motion By:
Seconded By:

**APPROVING A SITE PLAN AND AN INTERIM USE PERMIT FOR AN AGRIBUSINESS AT
23020 COUNTY ROAD 30 (PID 08-119-23-23-0017)
(CITY FILE 25-026)**

WHEREAS, Margaret and John Fernandez (“the applicant”) requested approval of an interim use permit to allow the operation of an Agribusiness on the property legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the request at a duly called public hearing and recommended approval.

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the request, subject to the following findings and conditions:

1. A site plan and interim use permit are approved to allow the operation of an agribusiness as shown on application materials and plans received by the City on July 15, 2025, with additional information received on July 16, 2025, and August 4, 2025, except as amended by this resolution.
2. The applicant must comply with all conditions in the City Engineer’s Memo dated August 19, 2025.
3. The applicant must comply with all conditions in the Public Safety memo dated September 3, 2025.
4. Grading plan must be reviewed and approved by the City Engineer.
5. An interim use permit is granted to allow the operation of an agribusiness, subject to the following conditions and findings:
 - a. The criteria applicable to the Agribusiness standards are satisfied as outlined in Section 1040.030 Subd. 5(D):
 - i. The Agribusiness is located on a parcel that is at least four (4) acres in size.
 - ii. The site has direct access onto a Major Roadway.
 - iii. Traffic to and from the site would originate from the Major Roadway and should have a minimal impact on the surrounding local roadways.
 - iv. Parking for the interim use is accommodated through on-site parking.

RESOLUTION NO. 2025-

- v. There will be no use of sound amplification systems after 10 p.m. unless otherwise approved by Council.
 - vi. Outdoor lighting shall not exceed 0.1-foot candle as measured from the property line.
 - vii. Sanitary facilities shall be offered through an indoor bathroom within the proposed structure.
 - viii. All outdoor activities shall be located at least 100 feet away from neighboring residential structures.
- b. Applicable criteria are satisfied as outlined in Section 1070.030 (Interim Use Permits) of the Corcoran Zoning Ordinance:
- i. The application meets the requirements of a conditional use permit set forth in Section 1070.020, Subd. 3.
 - 1. The Agribusiness is consistent with agricultural uses anticipated on this site by the Comprehensive Plan.
 - 2. The establishment of the interim use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals, or comfort of the community.
 - 3. The interim use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
 - 4. The establishment of the interim use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
 - 5. Adequate public facilities and services are available for the interim use.
 - 6. The interim use, in all other respects, conforms to the applicable regulations of the RR district in which it is located.
 - ii. The use is allowed as an interim use of the Rural Residential zoning district.
 - iii. The interim use shall expire immediately after the existing business on site ceases operations, or once the property is sold to another party.
 - iv. The use will not add an unreasonable cost to the public.
- c. The use shall be subject to the following conditions:
- i. Maximum capacity for all events shall be 80 patrons.

RESOLUTION NO. 2025-

- ii. The driveway shall be widened to a minimum width of 24 feet to accommodate two-way traffic.
 - iii. A lighting plan shall be submitted to the City that complies with the specific lighting requirements of Section 1040.030 Subd. 5.D.7. as well as the general lighting requirements of Section 1060.040 Subd. 1.
 - iv. Any exterior storage of trash shall be located within an accessory building enclosed by walls and roof or in closed containers within a totally screened area in accordance with Section 1060.020 of the Zoning Ordinance.
 - v. The parking lot must be constructed of a surface that is either a defined gravel parking area or a hard surface with perimeter concrete curbing, subject to approval from the City Engineer.
 - vi. Usage of all sound amplification systems must cease no later than 10 p.m.
 - vii. Any stages or sound amplification equipment must be oriented away from any residence within 500 feet.
 - viii. Any portable bathrooms must be located at least 400 feet from neighboring residential structures.
6. FURTHER, that the following conditions be met prior to making improvements on site:
- a. The site plan must be revised to meet the following conditions:
 - i. Any accessory structure space that exceeds the footprint allowed for a parcel of this size must be removed if not otherwise approved by the City Council.
 - ii. The southeasterly shed shall either be relocated to meet the minimum accessory structure setback or be removed from the property.
 - iii. The northernmost shed shall either be removed from the property or relocated to meet the minimum accessory structure setbacks and obtain an after-the-fact variance.
 - iv. The existing pole barn shall either be relocated to meet the minimum setback requirements or obtain an after-the-fact variance.
 - 1. Should a variance not be approved, financial security for the removal of the structure must be provided to the City.
 - v. The driveway shall be widened to a minimum width of 24 feet to accommodate two-way traffic.

RESOLUTION NO. 2025-

7. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.
8. The interim use shall terminate on the happening of any of the following events, whichever occurs first:
 - a. If the agribusiness ceases.
 - b. If property ownership changes.
 - c. If ownership of the business changes.
 - d. If a Notice of Termination for the Stormwater Pollution Prevention Plan is submitted to the Minnesota Pollution Control Agency.
 - e. If there is a failure to meet other local, state, and federal regulations.

VOTING AYE

- ☐ McKee, Tom
- ☐ Friedrich, Michelle
- ☐ Lanterman, Mark
- ☐ Nichols, Jeremy
- ☐ Vehrenkamp, Dean

VOTING NAY

- ☐ McKee, Tom
- ☐ Friedrich, Michelle
- ☐ Lanterman, Mark
- ☐ Nichols, Jeremy
- ☐ Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 11th day of September 2025.

Tom McKee - Mayor

ATTEST:

Debra Johnson – City Clerk

City Seal

RESOLUTION NO. 2025-

ATTACHMENT A

Lot 8, Block 2, Oak Hollow

DRAFT

ORDINANCE NO. 2025-

Motion By:
Seconded By:

CITY OF CORCORAN

AN ORDINANCE AMENDING THE TEXT OF CHAPTERS 1040 OF THE CORCORAN CITY CODE RELATED TO AGRIBUSINESS (CITY FILE 25-017)

THE CITY OF CORCORAN ORDAINS:

SECTION 1. Amendment of the City Code. The text of Chapter 1040.030 Subd. 5(D). "Rural Residential District (RR)" (Zoning Ordinance) of the Corcoran City Code is hereby amended by deleting the ~~stricken~~ material and adding the underlined material as follows:

- A. Temporary living quarters, subject to the standards in Section 1030.040 (Temporary Structures) of the Zoning Ordinance.
- B. Agribusiness, subject to the following:
 - 1. Must be located on a parcel that is at least four (4) acres in size.
 - 2. Site Access. The primary site access shall comply with one of the following:
 - a. The site shall have direct access onto a Major Roadway, which is defined as a Principal Arterial, Minor Reliever, Minor Expander, and Minor Connector roadways; or
 - b. The site will have direct access onto a Major Collector or Minor Collector roadway no more than 2,500 feet from an intersection with a Major Roadway as identified in the Comprehensive Plan.
 - 3. Traffic shall not create a nuisance to nearby residents by way of traffic or noise, nor shall it increase the public cost in maintaining the street.
 - 4. Parking. Parking must be accommodated through on-site parking lots which comply with the necessary requirements outlined in Section 1060.060 of the Zoning Ordinance.
 - a. Gravel parking lots for Agribusinesses in the Rural Residential (RR) district may be allowed through an Interim Use Permit subject to the standards outlined in Section 1060.060 Subd. 3.B.

5. Maximum Structure Size. Agribusiness operating within an accessory structure must comply with the maximum accessory footprint allowed per Section 1030.020 Subd. 4.E.
 - a. City Council may grant flexibility as part of the Interim Use Permit to exceed the maximum allowed accessory structure footprint for properties that are between four (4) and less than ten (10) acres in size, provided the Council finds that additional accessory space is reasonably necessary for the agribusiness to operate effectively.
6. Noise.
 - a. No sound amplifications systems may be used outdoors after 10:00 p.m. unless otherwise approved by City Council.
 - b. Stages and sound amplification equipment shall not be oriented toward any residence within 500 feet of the property line upon which the outdoor music event is to be held. Further, sound amplification equipment shall be oriented so sound is directed away from the closest residential property.
 - c. All music events require council approval of a sound waiver permit prior to each event unless otherwise approved.
7. Outdoor lighting shall not exceed 0.1-foot candle as measured from the property line and must comply with Section 1060.040 Subd. 1 of the City Code.
8. Sanitary facilities adequate for the number of attendees shall be provided as determined by the adopted Minnesota State Building Code, as may be amended from time to time. Portable toilets may be approved for temporary use and must be screened from view from roads and neighboring properties by landscaping or a wooden enclosure. No portable toilets shall be located closer than 400 feet from a neighboring residential structure.
9. Any outdoor activity area (e.g., seating, walking, crafting, etc.) shall be setback at least 100 ft from adjacent residential structures.

SECTION 5. Effective Date. This Ordinance shall be in full force and effect upon its passage.

VOTING AYE

- ☐ McKee, Tom
- ☐ Friedrich, Michelle
- ☐ Lanterman, Mark
- ☐ Nichols, Jeremy
- ☐ Vehrenkamp, Dean

VOTING NAY

- ☐ McKee, Tom
- ☐ Friedrich, Michelle
- ☐ Lanterman, Mark
- ☐ Nichols, Jeremy
- ☐ Vehrenkamp, Dean

Whereupon, said Ordinance is hereby declared adopted on this 11th day of September 2025.

Tom McKee – Mayor

City Seal

ATTEST:

Debra Johnson – City Clerk

RESOLUTION NO. 2025-

Motion By:
Seconded By:

**A RESOLUTION APPROVING FINDINGS OF FACT FOR AN AMENDMENT TO TITLE X TO
ALLOW AGRIBUSINESS OPERATIONS AS AN INTERIM USE IN THE RURAL
RESIDENTIAL DISTRICT (CITYWIDE)
(CITY FILE NO. 25-026)**

WHEREAS, Margaret and John Fernandez (the “applicant”) requests an allow flexibility from the accessory structure footprint limitations for agribusiness uses in the rural residential district, and;

WHEREAS, the Planning Commission reviewed the request at a duly called Public Hearing and recommends approval, and;

WHEREAS, the City Council reviewed the proposed amendment at a regular scheduled meeting, and;

WHEREAS, the City Council adopted an ordinance amending Title X to include Commercial Kennels as an Interim Use in the Rural Residential

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Corcoran, Minnesota, that it approved the amendment to Title X of the City Code based on the following findings:

1. Flexibility to these standards are strictly tied to agribusiness uses and are not allowed for recreational or general storage uses.
2. The City has an interest in supporting efforts to recruit new businesses and industries in the appropriate locations.
3. The City also has an interest in creating a community with housing, employment and service uses that reinforce the City’s vision to allow development while working to retain key elements that define its rural character.

VOTING AYE

- ☐ McKee, Tom
- ☐ Friedrich, Michelle
- ☐ Lanterman, Mark
- ☐ Nichols, Jeremy
- ☐ Vehrenkamp, Dean

VOTING NAY

- ☐ McKee, Tom
- ☐ Friedrich, Michelle
- ☐ Lanterman, Mark
- ☐ Nichols, Jeremy
- ☐ Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 11th day of September 2025.

RESOLUTION NO. 2025-

Tom McKee - Mayor

ATTEST:

Debra Johnson – City Clerk

City Seal



Fw: Accessory Structure Footprint

From Dwight Klingbeil <DKlingbeil@corcoranmn.gov>

Date Wed 8/27/2025 2:08 PM

To Dwight Klingbeil <DKlingbeil@corcoranmn.gov>

From: John & Margaret Fernandez <mjcreeksidevineyard@gmail.com>

Sent: Monday, August 18, 2025 4:46 PM

To: Dwight Klingbeil <DKlingbeil@corcoranmn.gov>

Subject: Re: Accessory Structure Footprint

This message was sent from outside of the organization. Please do not click links or open attachments unless you recognize the source of this email and know the content is safe.

Dwight,

We are going to go with the option below. We are including both pannels in our request and we will use our escrow to pay the \$700 Zoning Ordinance Amendment application fee.

The tasting room is currently big enough for a bar processing room and capacity for roughly 80-90 patrons. We need the additional buildings for storage of farming equipment, supplies for the tasting room and equipment to maintain the property. Some of the items included would be: 2 tractors, 2 orchard sprayers, a rototiller, rider mower, regular mower, skid steerer, snow blower, work bench, tools for equipment repair, landscaping equipment, tables, chairs, outdoor furniture, wine making supplies, decorations, swag, glassware, bottling equipment, bottles, harvesting equipment (crusher destemmer & press) etc. Since, this is our residence as well some of the existing buildings are used for our cars/trucks and everyday living supplies.

Please let me know if there is additional information we need to provide or if there is another form we need to fill out.

- Request an amendment to the Zoning Ordinance to allow flexibility from the accessory structure footprint standards for buildings used in conjunction with an Agribusiness operation. This option involves more discretion by the City Council, but may be considered if you can demonstrate a clear need for this much space in your operations.
 - o To apply for this request, please submit an updated narrative explaining the need for this much accessory structure space, and how it relates to the Wine Tasting room. Please note, this would require a payment of \$700 for the Zoning Ordinance Amendment application fee. This may be drawn from your escrow balance if you'd like.

Thanks! Margaret & John

Margaret & John Fernandez

763-221-4841 & 763-447-1659

mjcreeksidevineyard@gmail.com

23030 County Road 30, Corcoran, MN 55374



To:	Kevin Mattson, PE Public Works Director/City Engineer Lauren Letsche, Engineering Development Supt.	From:	Steve Hegland, PE Ben Otto, EIT
Project:	M&J Winery Site Plan Review	Date:	August 19, 2025

Exhibits:

This Memorandum is based on a review of the following document:

1. M&J Creekside Vineyard Parking Lot Plans by Hakanson Anderson Dated 04/02/25

Comments:General:

1. The site is proposed to be used for a wine tasting room available to the public. The site plan identifies a newly constructed parking lot for 44 stalls.
2. There are several buildings/structures that appear to encroach into easements. An encroachment agreement should be obtained for these structures if not already approved by the City for their location.

Transportation

1. The proposed project access is from County Road 30. The applicant shall confirm with the county, that the current access location is appropriate for the proposed use.
2. The internal access and parking lot will be privately owned and maintained.
3. The parking lot shall have be of an acceptable surface either a defined gravel parking area or hard surface with perimeter concrete curbing. The grass filled geogrid is not an approved parking lot material per the City of Corcoran Code.
4. The main drive from the county road should be a minimum of 24' wide to support two-way traffic to the parking lot.

Wetlands/Stormwater

1. The current site plan indicates a disturbance of less than 1-acre which is below the threshold to require City of Corcoran, Watershed or MPCA stormwater improvements. If the disturbance area changes or the site disturbance is enough to trigger stormwater treatment compliance, the applicant shall be required to meet those standards.
2. The wetland delineation for the site is under review. The site plan shall be adjusted based on final wetland delineation.
3. A delineated wetland is shown on the north property line and southwest corner adjacent to Rush Creek. Any improvements shall meet all applicable City and WCA regulations. Wetland buffer and setbacks shall be shown. A wetland buffer plan shall be required which should be completed in accordance with the City of Corcoran Wetland Buffer Policy.
4. Easements shall be provided over the wetlands and buffers.

5. All drainage swales shall maintain a minimum of 2% slope and all slopes should be 4:1 or flatter unless approved by the City Engineer.

Grading/Floodplain

1. FEMA 100-year floodplain (Zone AE) is mapped on the property at elevations ranging from 975 to 973. The floodplain is shown on the site plan, however the floodway should be located by the applicant and considered when laying out the site.
2. Grading is shown within the floodway at the entrance driveway and NW of the existing pole barn. Any grading within the mapped floodway extents must be modeled to show a no rise. The City recommends grading to be moved out of the floodway extents to remove the need for a CLOMR.
3. The compensatory fill calculations should be provided for the flood zone area and not the floodway.
4. Notes should be added to the site plan noting that the contractor shall stage all materials and equipment outside of the regulatory flood elevation within the site.

Water/Sewer

1. The proposed site is not within the MUSA and will be served by private well and septic system.
2. The applicant is proposing a new septic for the building. The applicant shall provide a full septic system design including primary and alternate sites for the septic location as approved by Hennepin County.
3. The applicant shall confirm if the current well can be utilized for this use or if a new well will be necessary for the site.
4. The plans shall include information on the size and materials for both the water and sewer services.

End of Comments

M&J CREEKSIDE VINEYARD PARKING LOT
CORCORAN, MINNESOTA

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL APPLY.

THE 2013 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS SHALL APPLY.

ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

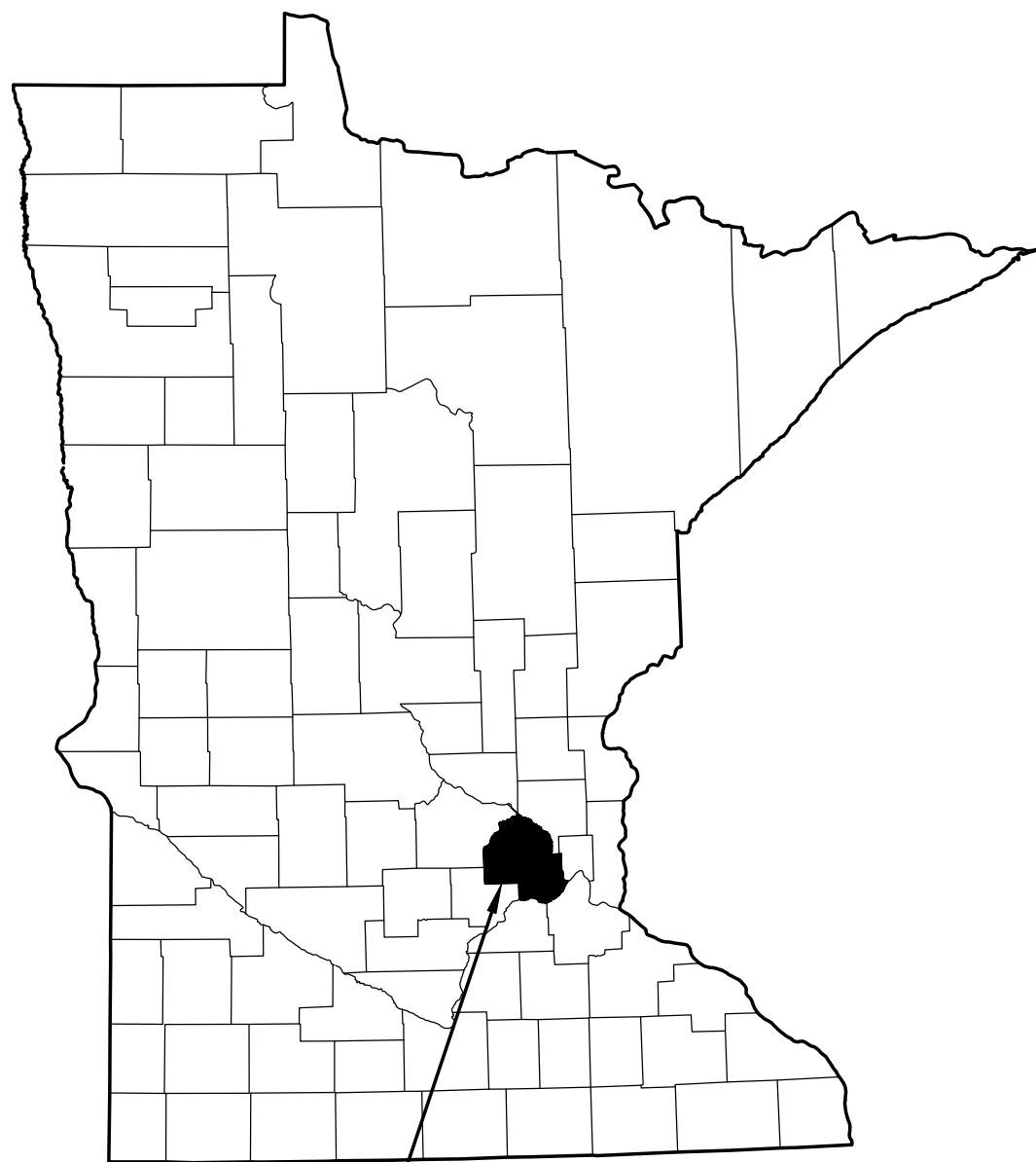
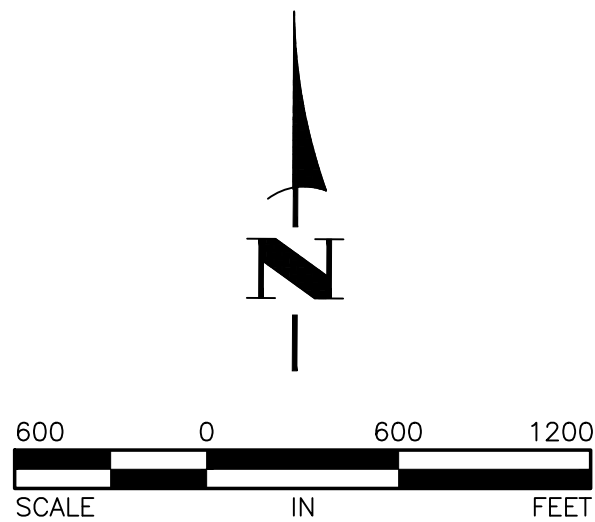
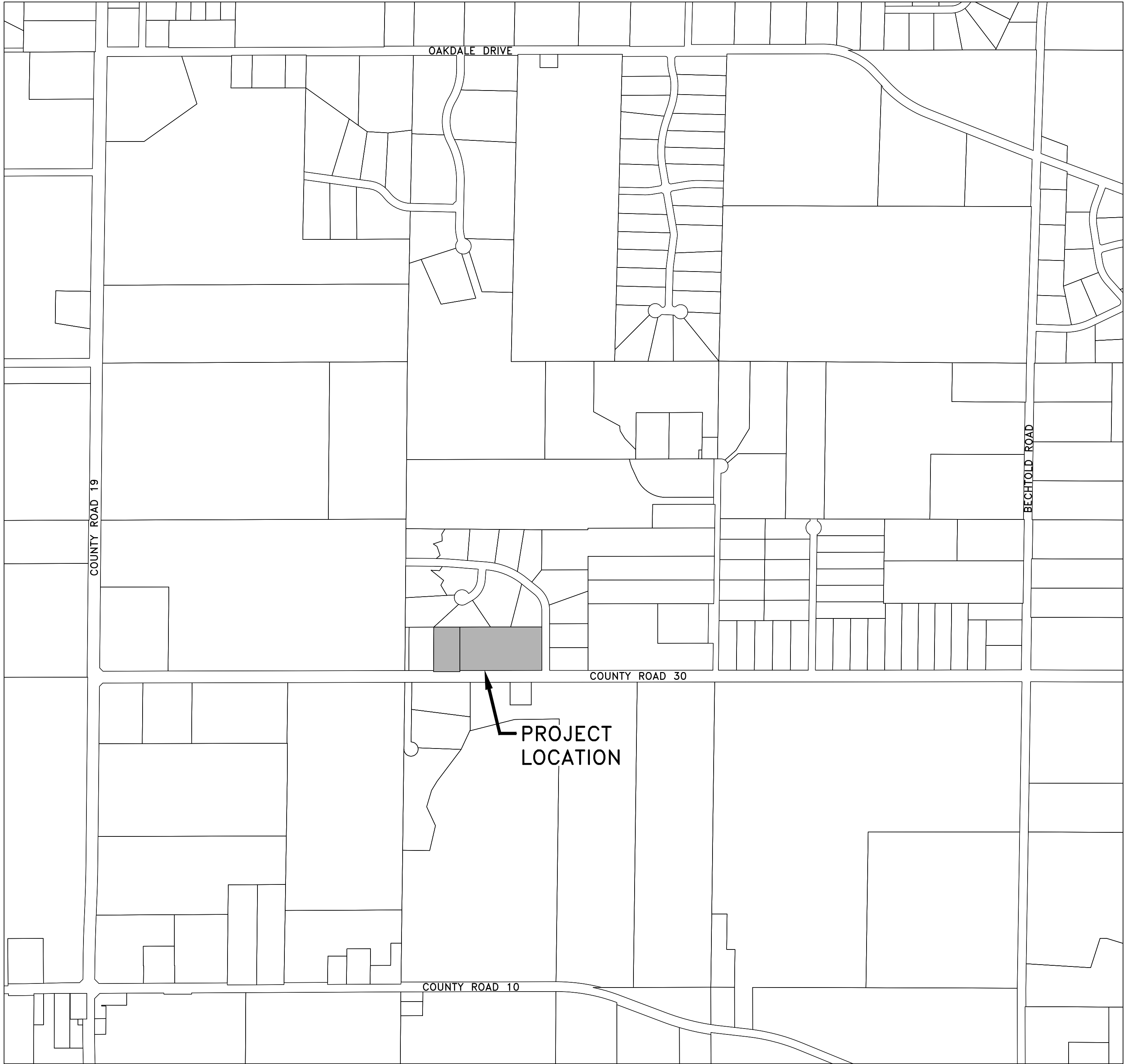
ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

ALL REQUIREMENTS OF THE PROJECT MANUAL FOR THE M&J CREEKSIDE VINEYARD PARKING LOT PROJECT.

SHEET INDEX

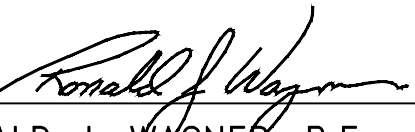
THIS PLAN CONTAINS 5 SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS
3	EXISTING CONDITIONS AND REMOVALS PLAN
4	GRADING, DRAINAGE AND EROSION CONTROL PLAN
5	SITE PLAN



CITY OF CORCORAN,
HENNEPIN COUNTY,
MINNESOTA

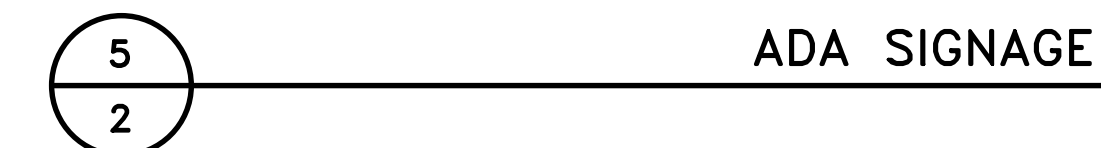
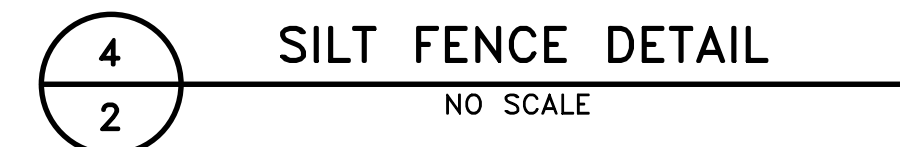
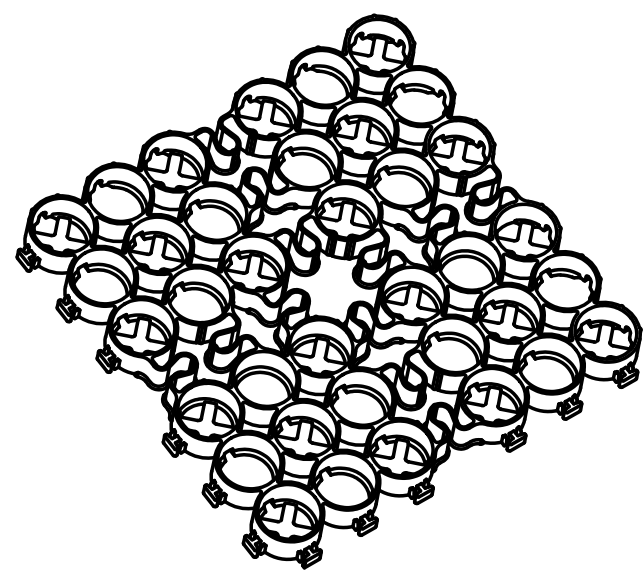
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.


RONALD J. WAGNER, P.E.
HAKANSON ANDERSON
DESIGN ENGINEER

26052 DATE 04/02/25
LIC. NO.

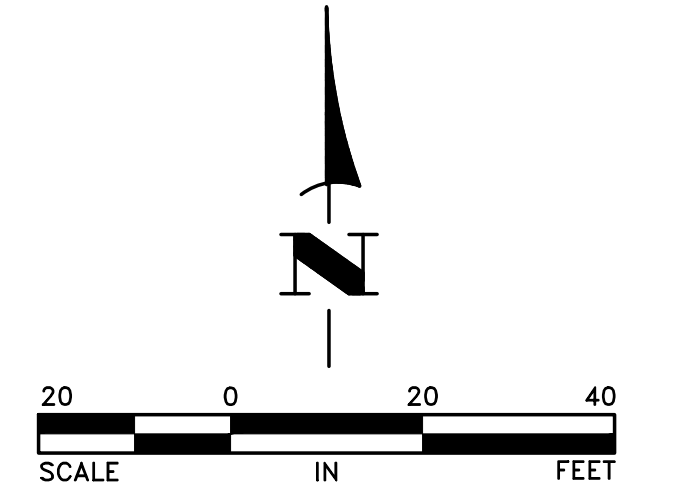
DATE	REVISION

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

5125.01



- REFERENCE NOTES:
- ① REMOVE CONCRETE AS SHOWN. DISPOSE OF OFF SITE.
 - ② DISCONNECT ANY UTILITY CONNECTIONS PRIOR TO DEMOLITION. COORDINATE WITH UTILITY OWNER.
 - ③ ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.



LEGEND

- POWER POLE
- REMOVE TREE
- OVERHEAD ELECTRIC CABLE
- FENCE
- DELINEATED WETLAND
- EXISTING CONTOUR
- EXISTING CONCRETE PAVEMENT
- EXISTING BITUMINOUS PAVEMENT
- EXISTING GRAVEL
- REMOVE/CLEAR VEGETATION
- REMOVE CONCRETE PAVEMENT
- REGULATORY FLOODWAY PER FEMA MAPPING
- FLOOD ZONE AE PER FEMA MAPPING
- BASE FLOOD ELEVATION LINE (BFE) PER FEMA MAPPING

Jul 18, 2025 7:54am
K:\PRIVATE\5125.01\ENGINEERING\PLAN DWG\5125.01_REMOVALS.dwg

DATE	REVISION
7/18/25	REVISE DRIVEWAY WIDTH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Ronald J. Wagner
RONALD J. WAGNER, P.E.
Date 04/02/25 Lic. No. 26052

DESIGNED BY:
RJW

DRAWN BY:
MSS

CHECKED BY:
BAW



Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.hakanson-anderson.com

M&J CREEKSIDE VINEYARD PARKING LOT

EXISTING CONDITIONS AND REMOVALS PLAN

CORCORAN, MINNESOTA

SHEET
3
OF
5
SHEETS



GENERAL NOTES:

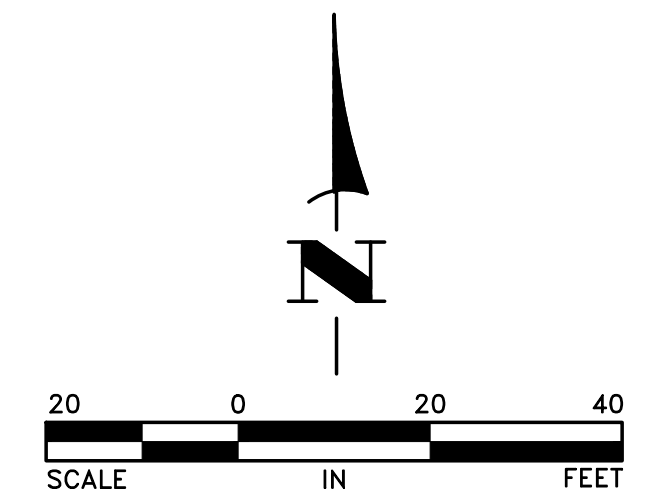
1. PVIOUS AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF ROUGH GRADING.
2. STREET SWEEPING MUST BE PERFORMED DAILY IF SEDIMENT IS TRACKED OUTSIDE THE CONSTRUCTION LIMITS OR ONTO ANY ADJACENT STREETS.
3. MAXIMUM FINISHED GRADE SLOPES SHALL BE 4:1.

GENERAL EROSION CONTROL NOTES:

1. EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
2. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
3. THE CONTRACTOR SHALL SCHEDULE HIS OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
4. BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR. OBSERVATIONS SHALL BE RECORDED IN AN INSPECTION LOG. WEEKLY INSPECTION LOGS AND INSPECTION LOGS AFTER EVERY 1/2" RAIN EVENT SHALL BE SUBMITTED TO THE CITY INSPECTOR.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION.

REFERENCE NOTES:

- ① INSTALL APPROXIMATELY 90LF OF DRAINTILE PER DETAIL ON PAGE 2. PROVIDE A MINIMUM OF 12" OF COVER OVER OUTLET PIPE.
- ② EXTEND THE EXISTING CULVERT AS NECESSARY TO ACCOMMODATE THE WIDENED 20 FOOT DRIVEWAY.



LEGEND

- POWER POLE
- OVERHEAD ELECTRIC CABLE
- FENCE
- DELINEATED WETLAND
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SILT FENCE PER $\frac{4}{2}$
- PROPOSED DRAIN TILE PER $\frac{3}{2}$
- EXISTING CONCRETE PAVEMENT
- EXISTING BITUMINOUS PAVEMENT
- EXISTING GRAVEL
- PROPOSED GRAVEL
- PROPOSED CONCRETE
- PROPOSED PARKING LOT - GRASS FILL MEDIUM LOAD TRUEGRID PRO PLUS - SEE DETAIL ON SHEET 2
- PROPOSED ELEVATION
- REGULATORY FLOODWAY PER FEMA MAPPING
- FLOOD ZONE AE PER FEMA MAPPING
- BASE FLOOD ELEVATION LINE (BFE) PER FEMA MAPPING
- FLOODWAY VOLUME OF FILL = 2.5 CY
- FLOODWAY VOLUME OF CUT = 5.0 CY

DATE	REVISION
7/18/25	REVISE DRIVEWAY WIDTH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Ronald J. Wagner
RONALD J. WAGNER, P.E.
Date 04/02/25 Lic. No. 26052

DESIGNED BY:
RJW

DRAWN BY:
MSS

CHECKED BY:
BAW



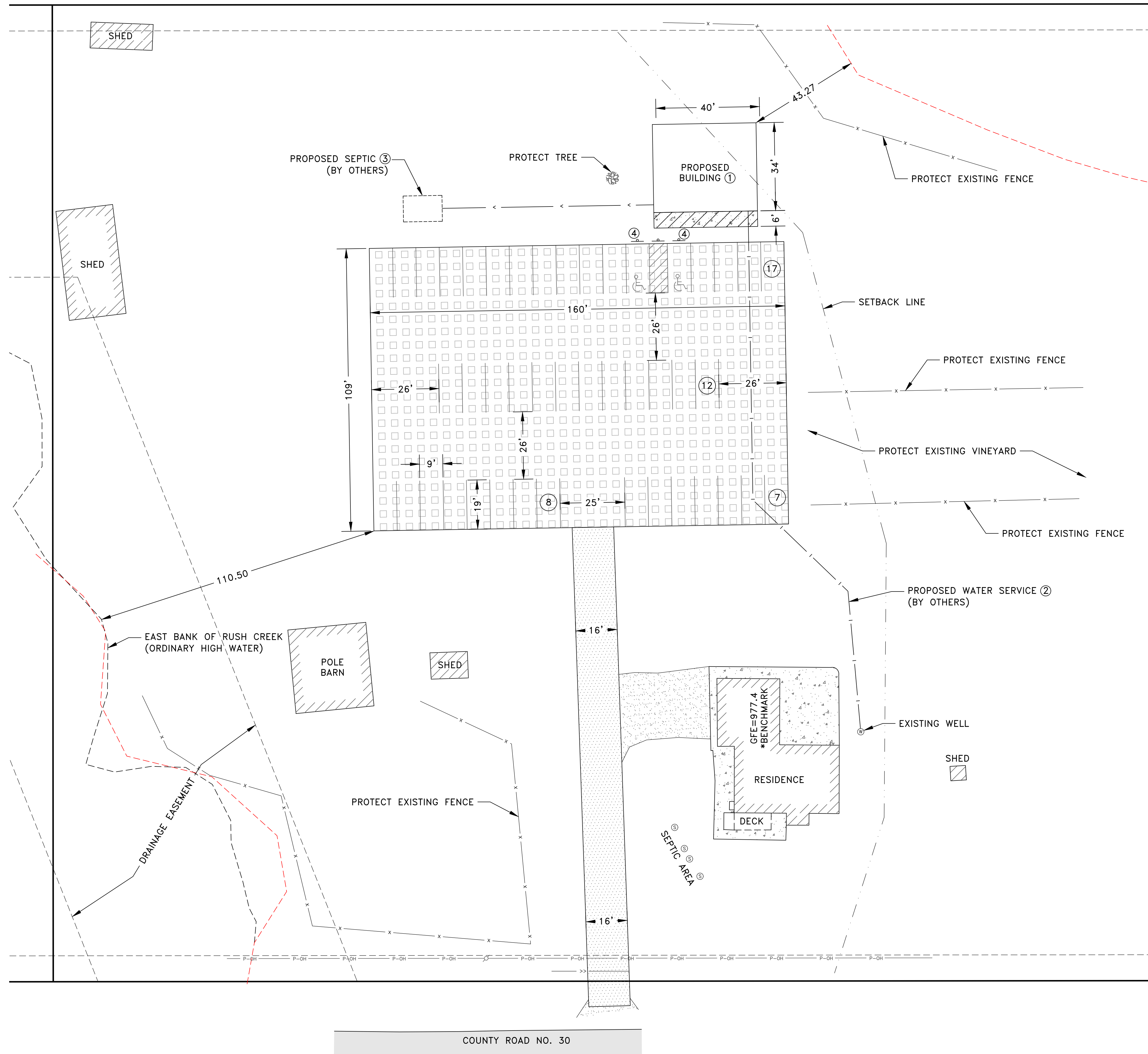
Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.hakanson-anderson.com

M&J CREEKSIDE VINEYARD PARKING LOT

GRADING, DRAINAGE AND
EROSION CONTROL PLAN

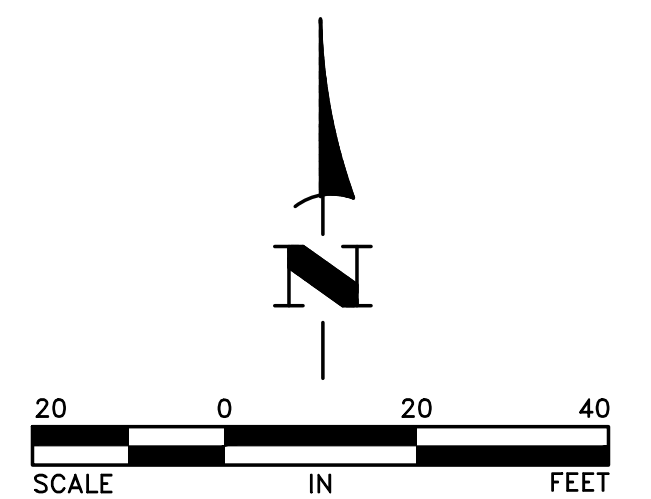
CORCORAN, MINNESOTA

SHEET
4
OF
5
SHEETS



REFERENCE NOTES:

- ① VERIFY BUILDING DIMENSIONS WITH THE OWNER'S FINAL BUILDING PLANS.
- ② VERIFY THE WATER SERVICE SIZE WITH THE OWNER
- ③ CONFIRM THE SIZE AND LOCATION OF THE PROPOSED SEPTIC TANK, BY OTHERS.
- ④ INSTALL ACCESSIBLE PARKING SIGNS. REFER TO DETAIL ON PAGE 2.



LEGEND

- ⚡ POWER POLE
- P-OH — OVERHEAD ELECTRIC CABLE
- x — FENCE
- DELINEATED WETLAND
- [Pattern] EXISTING CONCRETE PAVEMENT
- [Pattern] EXISTING BITUMINOUS PAVEMENT
- [Pattern] EXISTING GRAVEL
- [Pattern] PROPOSED GRAVEL PER $\frac{1}{2}$
- [Pattern] PROPOSED CONCRETE PER $\frac{2}{2}$
- [Pattern] PROPOSED PARKING LOT - GRASS FILL MEDIUM LOAD TRUEGRID PRO PLUS - SEE DETAIL ON SHEET 2
- PROPOSED SIGN PER $\frac{5}{2}$

PARKING STALL COUNT

STANDARD PARKING STALLS - 42
 ACCESSIBLE PARKING STALLS - 2
 TOTAL PARKING STALLS - 44

COUNTY ROAD NO. 30

DATE	REVISION
7/18/25	REVISE DRIVEWAY WIDTH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Ronald J. Wagner
 RONALD J. WAGNER, P.E.
 Date 04/02/25 Lic. No. 26052

DESIGNED BY:
RJW

DRAWN BY:
MSS

CHECKED BY:
BAW



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 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.hakanson-anderson.com

M&J CREEKSIDE VINEYARD PARKING LOT

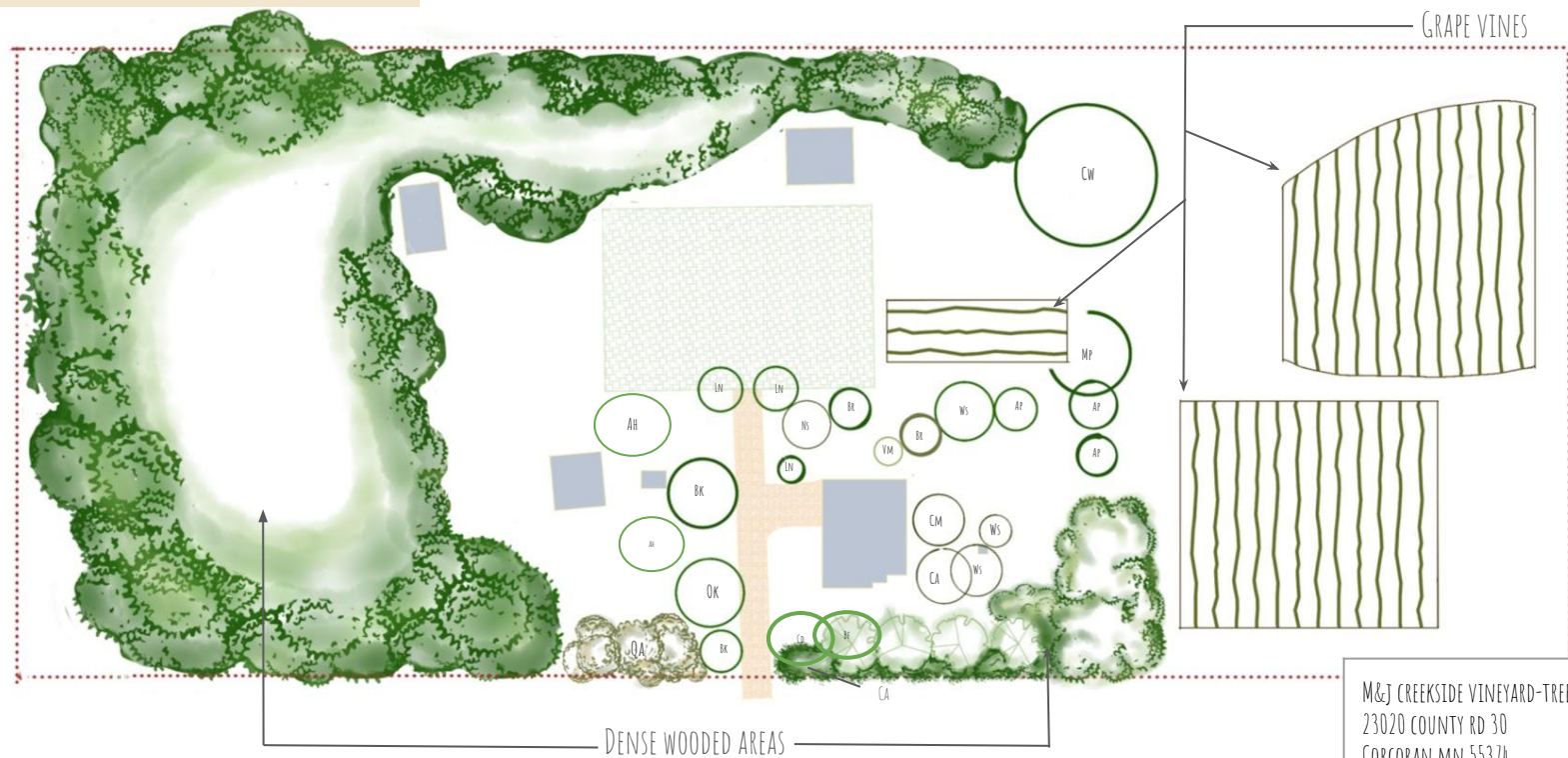
SITE PLAN

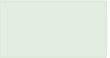
CORCORAN, MINNESOTA

SHEET
5
OF
5
SHEETS

M&J CREEKSIDE VINEYARD

TREESCAPE PLAN



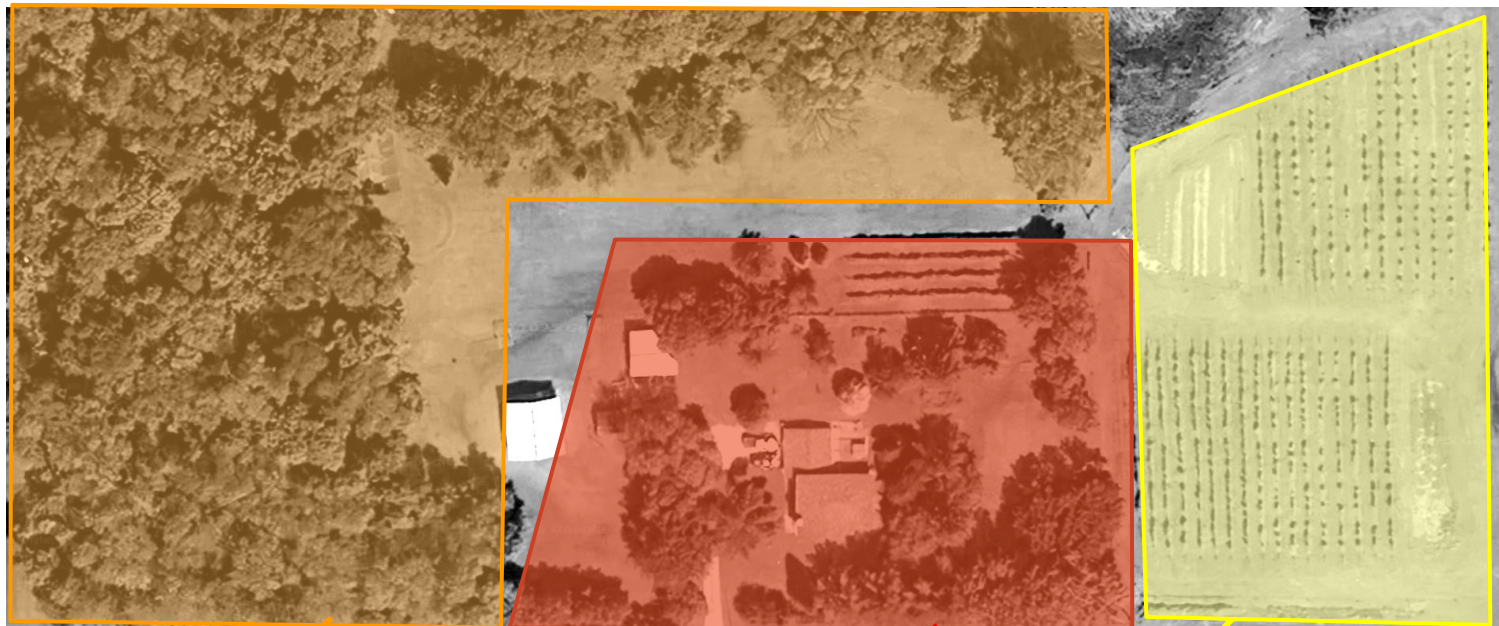
STRUCTURE		GRASS PARKING LOT		GRAVEL DRIVEWAY		PROPERTY BOUNDARY	
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M&J CREEKSIDE VINEYARD-TREESCAPE PLAN
23020 COUNTY RD 30
CORCORAN MN 55374

TESS STEENSGARD~AUGUST 2025
PERMACULTURE DESIGN
TSTEENSGARD@GMAIL.COM

M&J CREEKSIDE VINEYARD

ZONE MAP



ZONE 2

DENSELY WOODED CREEK AREA

ZONE 1

RESIDENCE-MAIN ENTRY

ZONE 3

VINEYARD -GARDEN

M&J CREEKSIDE VINEYARD-TRESCAPE PLAN
23020 COUNTY RD 30
CORCORAN MN 55374

TESS STEENSGARD~AUGUST 2025
PERMACULTURE DESIGN
TSTEENSGARD@GMAIL.COM

TREE SPECIES AND LEGEND

EVERGREEN

NAME	LEGEND	ZONE
WHITE PINE	WP	1
PINE	PN	1
NORWAY SPRUCE	NS	1
BALSAM FIR	BF	1
WHITE SPRUCE	WS	1
CEDAR	CD	1

DECIDUOUS

NAME	LEGEND	ZONE
MAPLE	MP	1,2
BIRCH	BR	1
ASPEN	AP	1
BOX ELDER	BE	1,2
ELM	EL	1,2
OAK	OK	1,2
WALNUT	WN	2
CRIMSON MAPLE	CM	1

NAME	LEGEND	ZONE
VARIEGATED MAPLE	VM	1
COTTONWOOD	CW	2
LINDEN	LN	1
BUCKEYE	BK	1,2
ASH	AH	1,2
APPLE	AP	1

OTHER WOODY SHRUBS-PLANTS- ETC

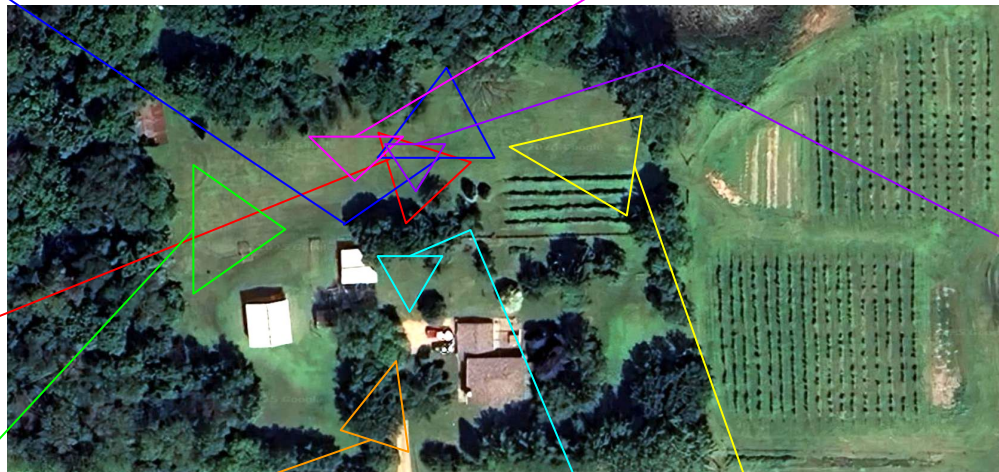
NAME	LEGEND	ZONE
GRAPE VINES	GV	1,3
CRAB APPLE	CA	1

M&J CREEKSIDE VINEYARD-TREESCAPE PLAN
23020 COUNTY RD 30
CORCORAN MN 55374

TESS STEENSGARD ~ AUGUST 2025
PERMACULTURE DESIGN
TSTEENSGARD@GMAIL.COM

M&J CREEKSIDE VINEYARD

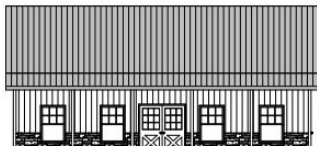
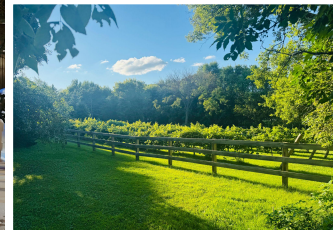
DIRECTIONAL VISUAL IMAGES



M&J CREEKSIDE VINEYARD-TRESCAPE PLAN
23020 COUNTY RD 30
CORCORAN MN 55374

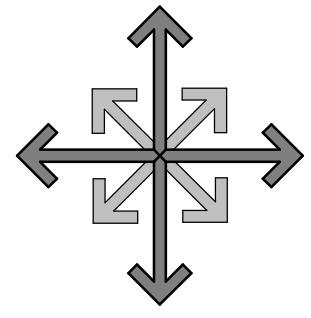
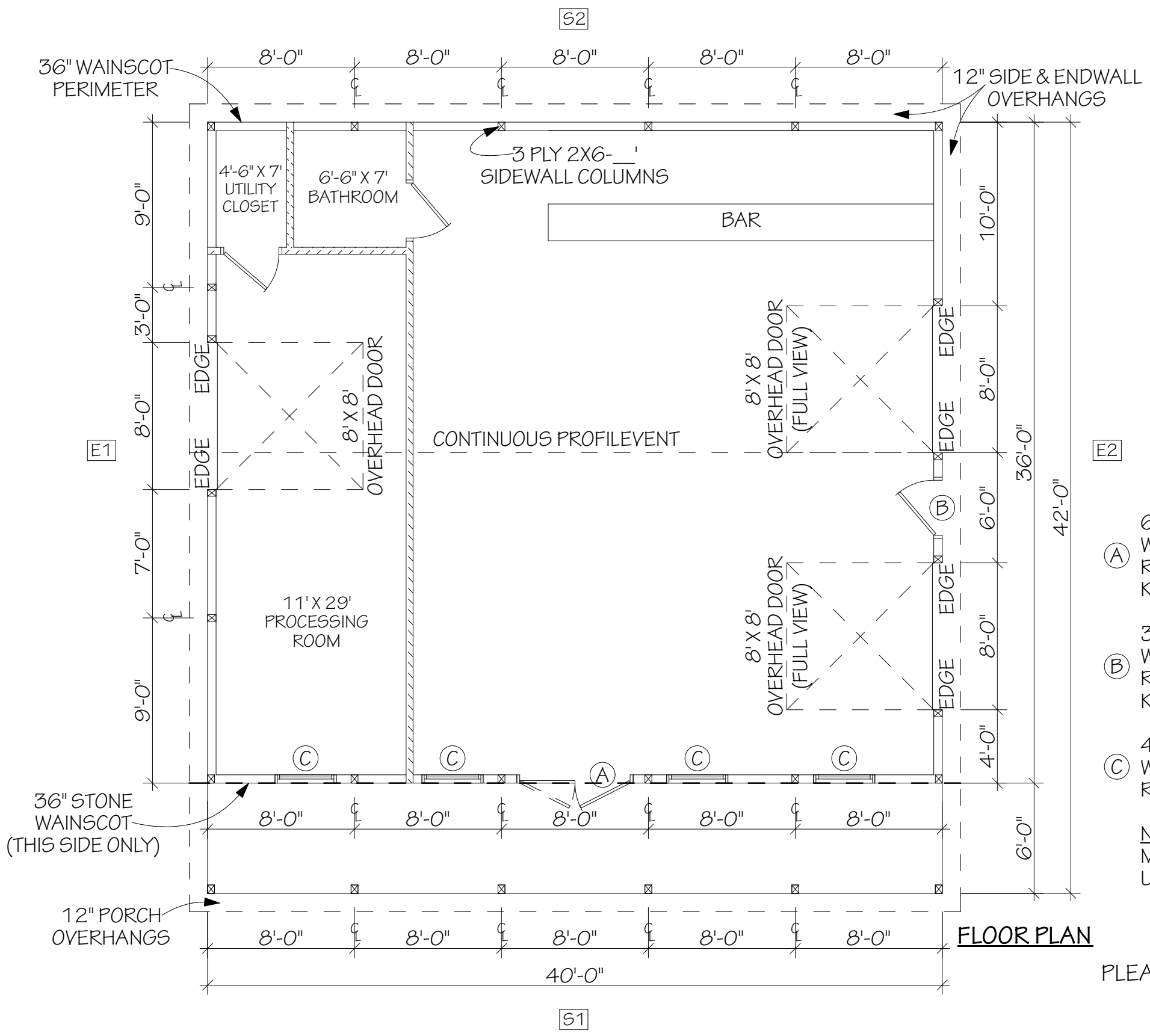
TESS STEENSGARD ~ AUGUST 2025
PERMACULTURE DESIGN
TSTEENSGARD@GMAIL.COM

VISUAL IMAGES



CUSTOMER SIGNATURE _____ DATE _____

BY SIGNING THIS DRAWING YOU ARE AGREEING TO THE LAYOUT AND DESIGN OF YOUR NEW RAM BUILDING.



- (A) 6'0" X 6'8" DBL 9-LITE WALKDOOR
W/ CROSSBUCK
R.O.= TBD
KNOB/KNOB KEYED LATCH
 - (B) 3'0" X 6'8" 9-LITE WALKDOOR
W/ CROSSBUCK
R.O.= TBD
KNOB/KNOB KEYED LATCH
 - (C) 4060 VINYL SGL HUNG WINDOW
W/ GRIDS (TOP SASH ONLY)
R.O.= 40" X 60"
- NOTE: TOP OF WINDOWS TO MATCH TOP OF WALKDOORS UNLESS OTHERWISE NOTED

PLEASE LOCATE: ATTIC ACCESS
 ELECTRICAL PANEL

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DRAWN BY: JEREMY B.
DATE: 7/9/2025
SHEET 2 OF 2

PROJECT NAME: M&J CREEKSIDE VINEYARD
PROJECT NUMBER: (25-___)
BUILDING DESCRIPTION: 36'-0" X 40'-0" X 10'-0"
DESIGN NUMBER: P25031

592 Industrial Drive
Winsted, Minnesota 55395
320-485-2844 800-710-4726
Fax 320-485-3625
www.rambuildings.com
Contractor License Number 20171976

RAM
Buildings Inc.

August 27, 2025

Dwight Klingbell

Planner – City of Corcoran

Mr. Klingbeil,

This letter contains our family's concerns regarding the Agribusiness Zoning Ordinance Amendment (City file No. 25-017) requested by Margaret and John Fernandez.

Our property is located at 9820 Creek View Circle, Corcoran, MN and adjoins the proposed site of the winery and event center at 23020 County Road 30, Corcoran, MN. We share about 460 feet of fence between our properties.

While we are not opposed to the winery and tasting room at our back door, we have great concerns about the event center they are asking to develop. As for the winery operation, we would like more information on how they intend to handle the wastewater issue. Waste from a winery can produce a strong odor if not handled properly. We would also like to know which agency will monitor the handling of the wastewater.

In 1962, I stopped at the Corcoran Meat Locker with my dad on our way home from a baseball event near Buffalo, MN. I remember thinking this is a place I would like to live. So, 40 years ago Karen and I built our home and raised our two boys here. We picked the west side of Corcoran because of the wildlife, quiet, and the dark star filled nights. I spent 23 years volunteering as the Corcoran Athletic Association President and served on the Corcoran Parks and Trails commission for 11 years to contribute in making Corcoran a great place to live. Karen ran an after-school enrichment program at Hanover Elementary School. We were not ignorant about future growth in Corcoran; it is spreading in all the peaceful places in this world. But to have an event center in our back yard, in a residential neighborhood, is a little too much. We anticipate there will be more traffic, more noise, too many lights, and possibly more pollution concerns.

Let's keep our residential neighborhood for small quiet indoor businesses and allow the event centers to be built in the commercial areas of our fine city.

Kevin and Karen Dale
9820 Creek View Circle
Corcoran MN 55374

Revised 12/18/20

Please attach a brief description of your project/reason for your request.

a) We are looking to build a tasting room on our vineyard with wine sales, production, processing facilities and bathrooms. We are also looking too add parking for patrons for the tasting room.

b) Impact to neighbors properties-

This venue should have no impact to the neighboring properties.

c) Building to be constructed or utilized-

Please see attached site plan with floor plans. We are looking to add a wine tasting facility, processing room and bathrooms as well as a parking lot.

d) Intended use of building and property-

We intend to use the building as a wine tasting room and facility for wine production and sales as well as small group gatherings, educational activities etc. following the Agro-Business guideline.

e) Hours and Days of Operation-

The tasting room at M&J Creekside will be a predominantly seasonal business. It will be open within the Agro Business guideline. Projected hours are spring through late autumn Thursday thru Sunday. Thursday - Saturday 12pm-9pm and Sunday 12pm-6pm. Hours may vary based on activities however, they will stay within the sound guideline of no later than 10pm.

f) Number of Employees

John and myself along with some volunteers and potentially a few employees as the tasting room requires.

g) Size of operation, including number of animals, if applicable-

Approximately \$100k-\$150k in sales and production. No animals

h) Impact on traffic, including type and amount of traffic, access and parking provisions-

Minimal impact on traffic. The type of traffic would be patrons. We plan to have a parking lot with an entrance where our current driveway is. Per Agro-Business guidelines as stated below:

Site Access. The primary site access shall comply with one of the following:

The site shall have direct access onto a Major Roadway, which is defined as a Principal Arterial, Minor Reliver, Minor Expander, and Minor Connector roadways; or

The site will have direct access onto a Major Collector or Minor Collector roadway no more than 2,500 feet from an intersection with a Major Roadway as identified in the Comprehensive Plan.

Traffic shall not create a nuisance to nearby residents by way of traffic or noise, nor shall it increase the public cost in maintaining the street.

Parking. Parking must be accommodated through on-site parking lots which comply with the necessary requirements outlined in Section 1060.060 of the Zoning Ordinance.

Gravel parking lots for Agribusinesses in the Rural Residential (RR) district may be allowed through an Interim Use Permit subject to the standards outlined in Section 1060.060 Subd. 3.B.

i) Impact on Septic System & Well-

We plan to have a septic specialist come out and assess what we need to add from a septic system perspective to handle the tasting room. Many of the current MN Vineyards and Winery's also rely on Porta Potty rentals. See site plan for waste management plan.

j) Potential environmental impacts and measures to avoid or minimize the potential impacts-

We are a Water Quality Certified Farm through the Minnesota Department of Agriculture and will be utilizing a consultant from the USDA Natural Resource Conservation Service for this project.

k) Proposed measures to provide buffering from use of adjacent properties-

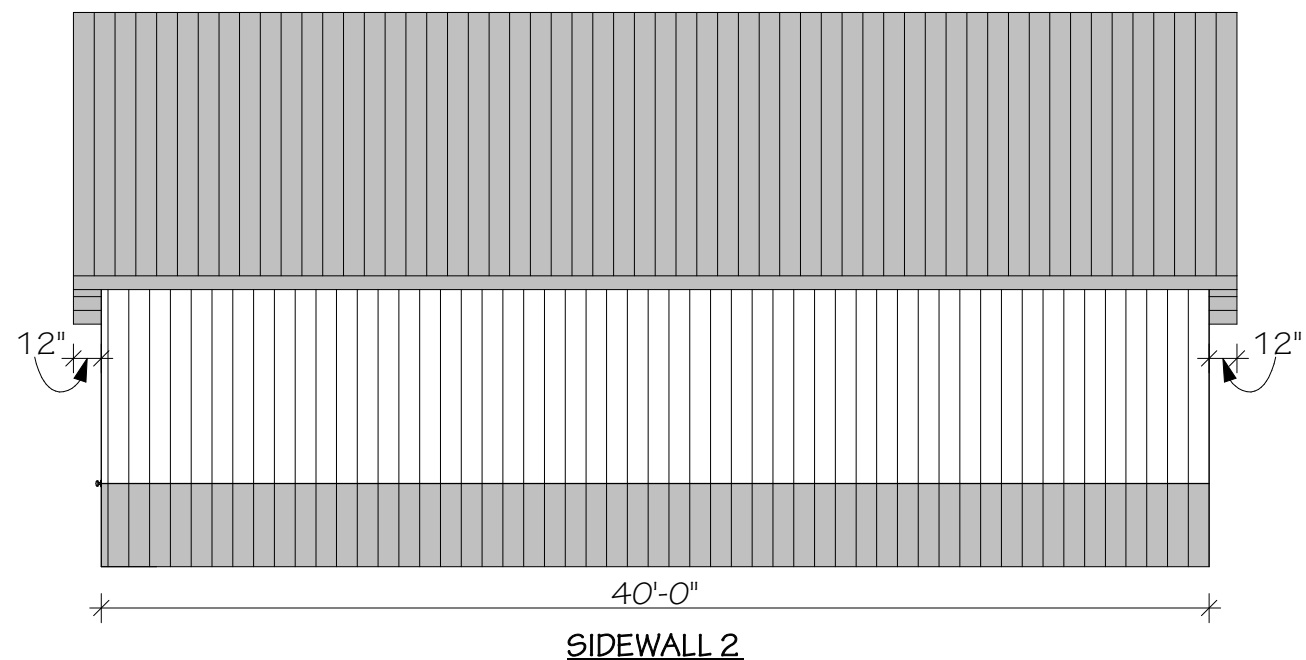
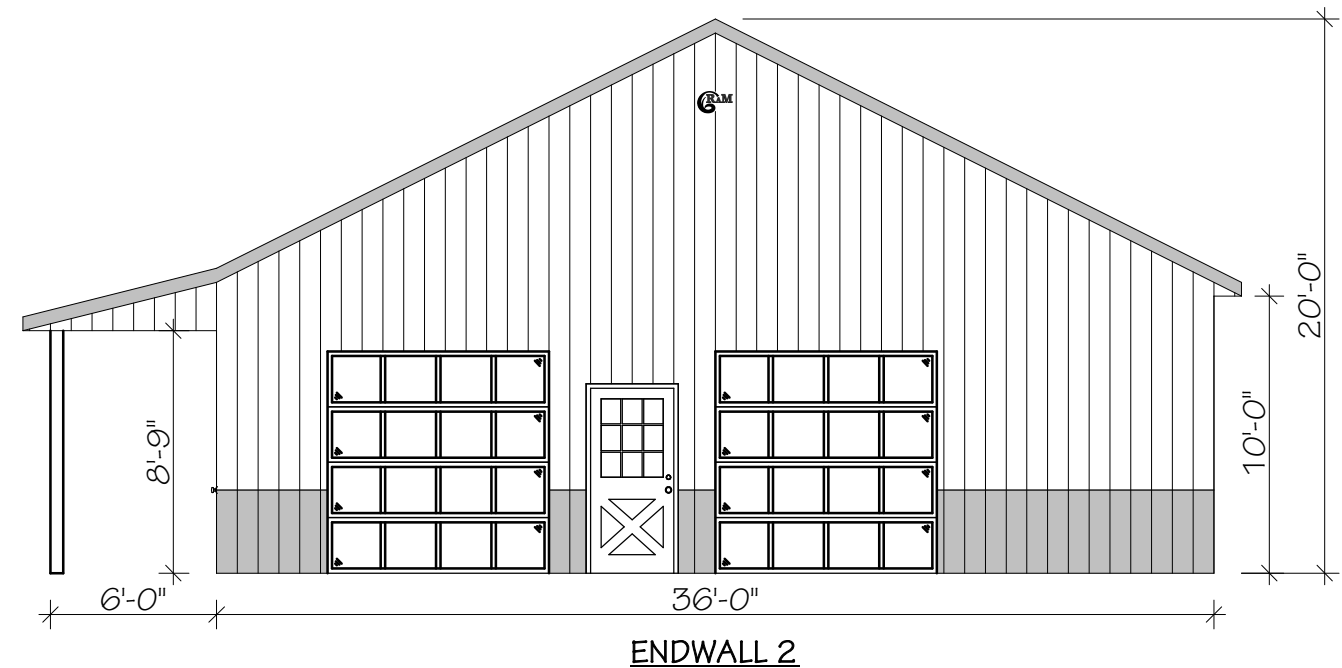
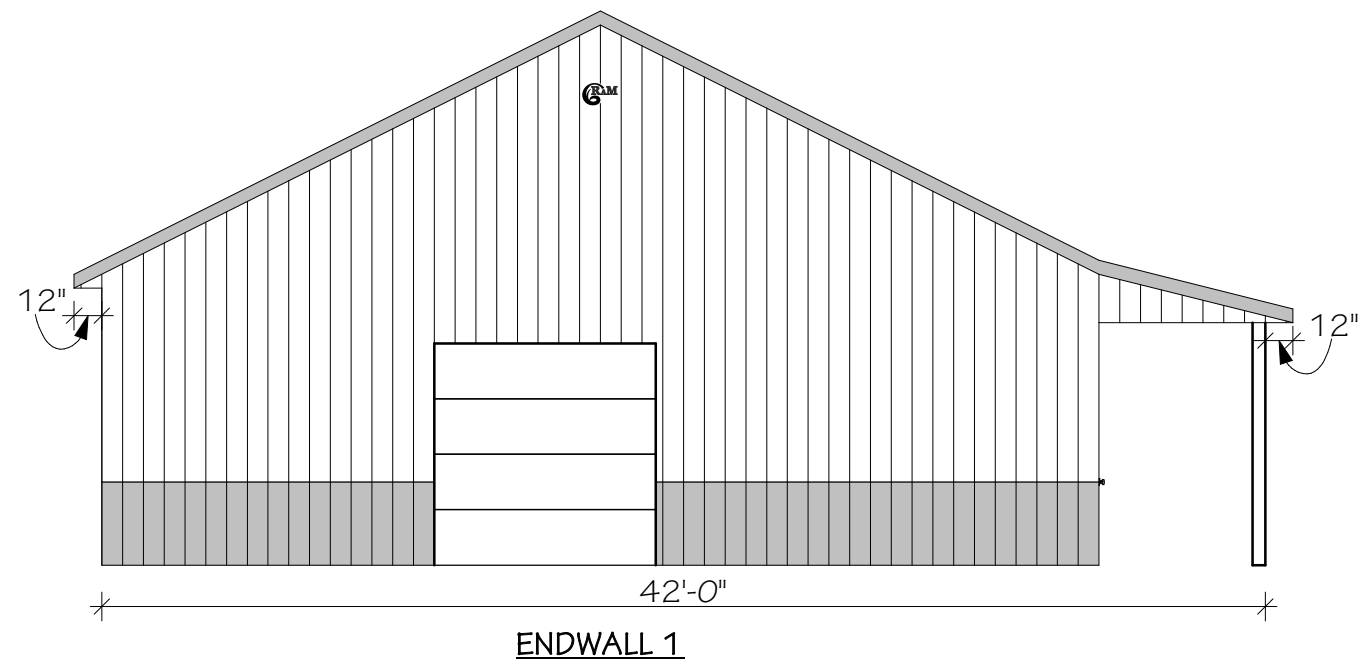
Our project will not impact buffering.

l) Future expansion plans-

We do not plan to extensively expand on the property at this time.

m) Nature of other uses in the neighborhood-

N/A



DRAWN BY: JEREMY B.
DATE: 8/4/2025
SHEET 1 OF 2

PROJECT NAME: M&J CREEKSIDE VINEYARD

PROJECT NUMBER: (25-___)

BUILDING DESCRIPTION:

DESIGN NUMBER: P25031

36'-0" X 40'-0" X 10'-0"

592 Industrial Drive
Winsted, Minnesota 55395
320-485-2844 800-710-4726
Fax 320-485-3625
www.rambuildings.com
Contractor License Number 20171976



X _____
CUSTOMER SIGNATURE DATE

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STAFF REPORT**Agenda Item: 7.a**

Council Meeting: September 4, 2025	Prepared By: Dwight Klingbeil, Planner
Topic: City Council Report - Council Liaison Vehrenkamp	Action Required:

Council Action

STAFF REPORT**Agenda Item: 7.b**

Council Meeting: September 4, 2025	Prepared By: Dwight Klingbeil, Planner
Topic: Planning Project Update	Action Required:

Council Action**Attachments**

1. [Planning Project Update](#)



MEMO

Meeting Date: September 4, 2025
To: Planning Commission
From: Dwight Klingbeil
Re: Planning Project Update

Projects/comments in blue italics are new.

The following is a status summary of active planning projects:

1. **Commercial and Industrial Development Standards (Citywide) (City File 23-023)**

The purpose of this [zoning](#) ordinance amendment is to address and evaluate the allowed uses and use specific standards within commercial and industrial developments. The Council adopted a work plan at the November 20, 2023, regular meeting, and requested the Planning Commission to provide their initial feedback. The Planning Commission discussed this item at the December 5, 2023, meeting and expressed their desire Commercial and Industrial Development Standards address a number of items such as: specific architectural standards, infrastructure investment incentives, encouragement toward sustainable development practices, proper transitions of intensities and height, the permitted and conditional uses of each zoning type, verbiage, and lighting standards.

City Staff prepared a survey for current landowners and lessees to express their opinions on items addressed with this update. Staff mailed the online survey invitation to property owners and tenants whose property is either currently zoned, or guided for Commercial, Industrial, or Mixed-Use. The comment period for this survey closed on January 31, 2024.

During the February 8, 2024, City Council meeting, Council directed staff to prioritize Rural Commercial (CR) and Transitional Rural Commercial (TCR) district updates for approval by the end of quarter 2. Staff presented feedback from the Planning Commission and results from the Business Community Survey to the City Council at the April 25, 2024, regular Council meeting for further direction. The City Council and Planning Commission discussed the Commercial and Industrial standards during the May 21, 2024, Joint Work Session.

A survey invitation for feedback on Rural Commercial Subdivisions was posted to the City's media pages and mailed out to properties within 500 feet of CR & TCR parcels. Council discussed the results of this survey during the June 27, 2024, meeting.

A public hearing for an ordinance amendment removing self-storage/mini-storage from the CR and I-1 districts was held at the July 2, 2024, Planning Commission meeting. After some discussion, the Planning Commission motioned to recommend approval of this ordinance amendment. Council approved the zoning ordinance amendment, removing self-storage/mini-storage from the CR & I-1 districts at the July 25, 2024, meeting.

A public hearing to clarify the use of development rights for subdivision in the UR, RR, CR, and TCR districts was held at the August 1, 2024, Planning Commission meeting. The Planning Commission motioned unanimously to recommend approval of the draft ordinance. Council approved the Zoning Ordinance Amendment at the August 22, 2024, meeting.

2. Upward Acres Lot Line Adjustment and Easement Vacation (PIDs 17-119-23-13-0002 & 17-119-23-12-0004) (City File 25-023).

Skies Limit LLC requests approval of a Lot Line Adjustment and Easement Vacation to realign the shared property line and Drainage & Utility Easement between 9155 & 9205 Underhill Lane. A public hearing for this item was held during the August 14, 2025, Council meeting. No members of the public spoke on this item, and the request was approved by the Council.

3. Hope Meadows 2nd Addition (PID11-119-23-11-0064) (City File 25-024).

Hope Community Development and JP Brooks request approval of a Final Plat and a PUD Amendment for Hope Meadows 2nd Addition. This addition consists of 18 Villa Townhomes and an extension of Hope Way. The applicant requested that this item be tabled and is not currently scheduled for any upcoming meetings.

4. M&J Creekside Interim Use Permit & Site Plan (PID 08-119-23-23-0017) (City File 25-026).

Margaret and John Fernandez request approval of a site plan and interim use permit to allow the operation of a wine tasting room at 23020 County Road 30. The operation would consist of wine sales, production, and processing. The public hearing for this item is scheduled for the September 4, 2025, Planning Commission meeting.

5. Bakke Minor Subdivision (PID 18-119-23-22-0007 & 18-119-23-23-0003) (City File 25-027).

David and Debra Bakke request approval of a minor subdivision to combine their two parcels at 23805 and 23865 County Road 10 and split off 5-acres of land surrounding the existing home at 23865 County Road 10. This item is not complete for City review and is not currently scheduled for any upcoming meetings.

6. Amberly Trail Easement Vacation (PID 01-119-23-31-0103) (City File 25-029).

Pulte Homes of Minnesota LLC request approval of a trail easement vacation to vacate portions of a trail easement within 10456 Northwood Lane. This item is under review for completeness and is not currently scheduled for any upcoming meetings.

7. Phil's Quality Auto Site Plan & Variance (PID 26-119-23-11-0029) (City File 25-030).

Phil's Quality Auto request approval of a Site Plan and Variance to allow the expansion of their parking lot within the minimum front yard setback area at 7590 Commerce Street. This item is incomplete for City review and is not currently

scheduled for any upcoming meetings.

8. **St. John's Lutheran School Sign Variance (PID 13-119-23-11-0011) (City File 25-031).**

St. John's Lutheran School request approval of a variance to allow the replacement of the current letter sign for the school with a dynamic display. This item is under review for completeness and is not currently scheduled for any upcoming meetings.

9. **Rush Creek Golf Course Site Plan & CUP (PID 24-119-23-42-0001) (City File 25-032).**

Rush Creek Golf Course request approval of a site plan amendment and conditional use permit amendment to allow the expansion of an existing maintenance building on site. This item is being reviewed for completeness and is not currently scheduled for any upcoming meetings.